# PROPOSED ATTACHED DUAL OCCUPANCY WITH GRANNY FLATS & POOLS AT 38 VIRGINIUS STREET, PADSTOW

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A01.02	SUBDIVISION PLAN			
A01.03	SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN			
A01.04	WASTE MANAGEMENT PLAN & SEDIMENT & EROSION CONTROL PLAN			
A01.05	LANDSCAPING PLAN			
A01.06	SITE CALCULATIONS			
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A16.03	3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX			
A17.01	BASIX CERTIFICATE - DW1			
A17.02	BASIX CERTIFICATE - DW2			
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A19	A4 NOTIFICATION PLANS - 1			
A20	A4 NOTIFICATION PLANS - 2			



REV	DATE	DESCRIPTION	ВУ
Α	07.11.2022	ISSUED FOR DA	Dk

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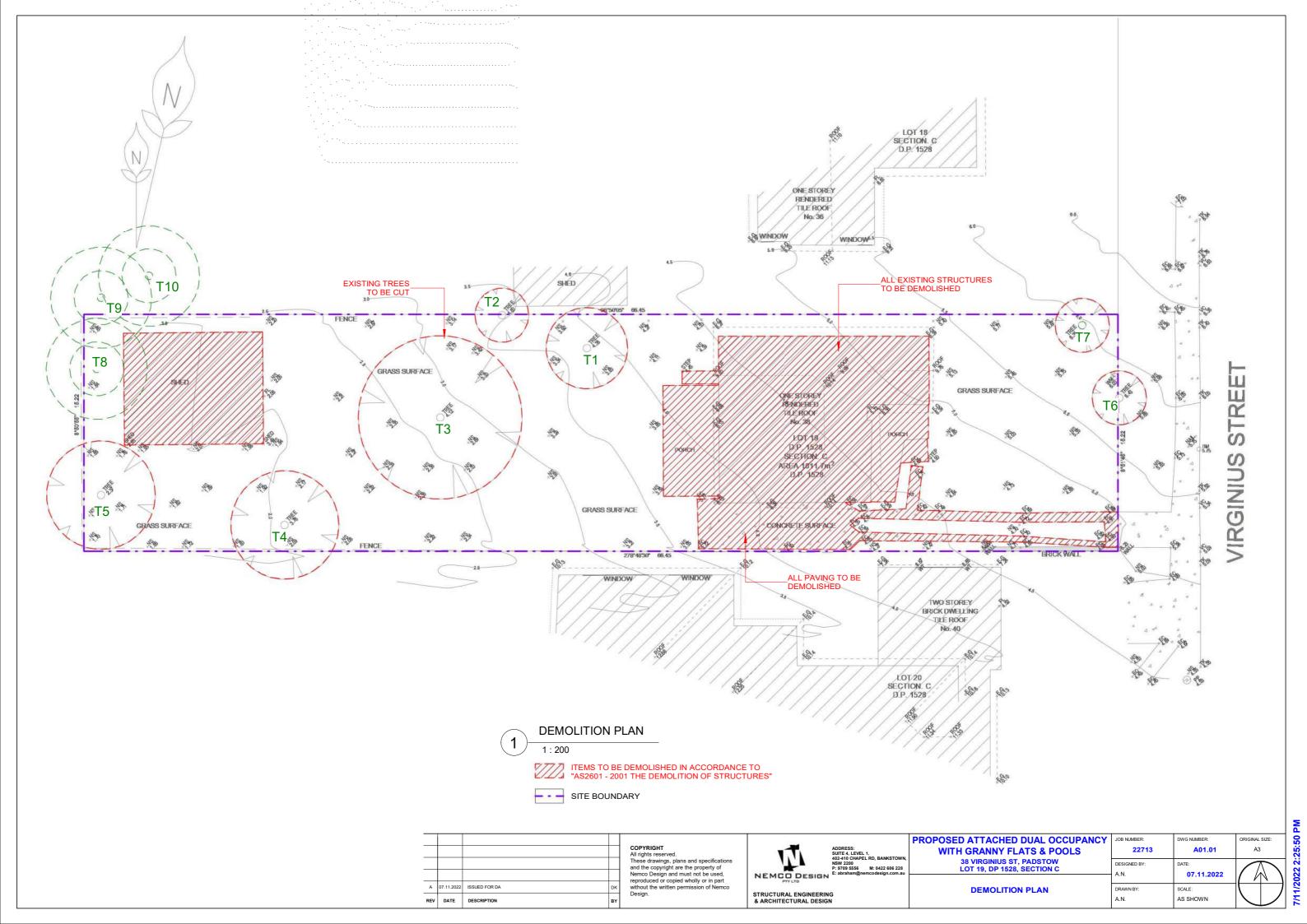


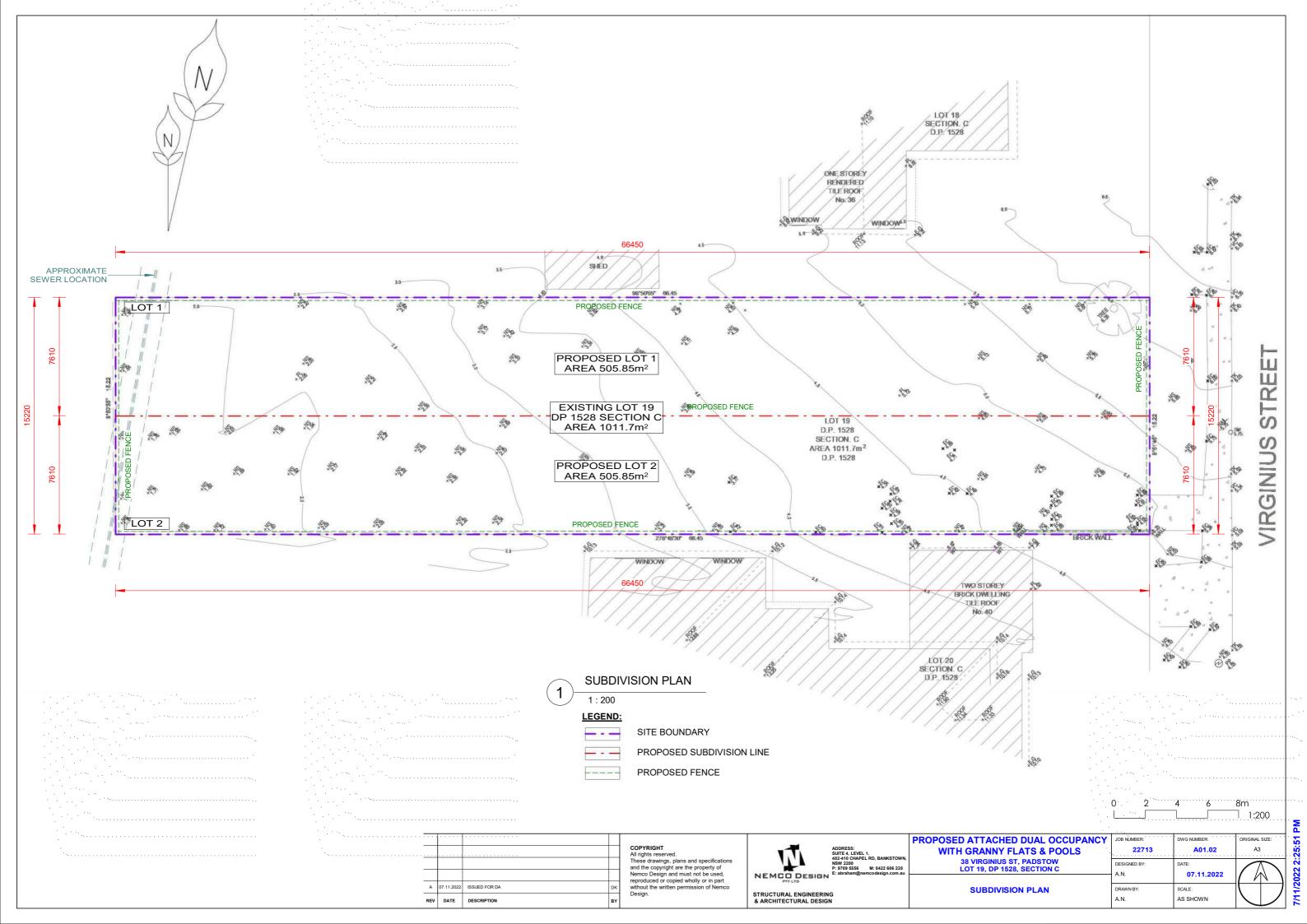
ADDRESS: SUITE 4, LEVEL 1, 402-410 CHAPFEL RD, BANKSTOWN, NSW 2200 P: 9709 5555 M: 0422 606 228 LC

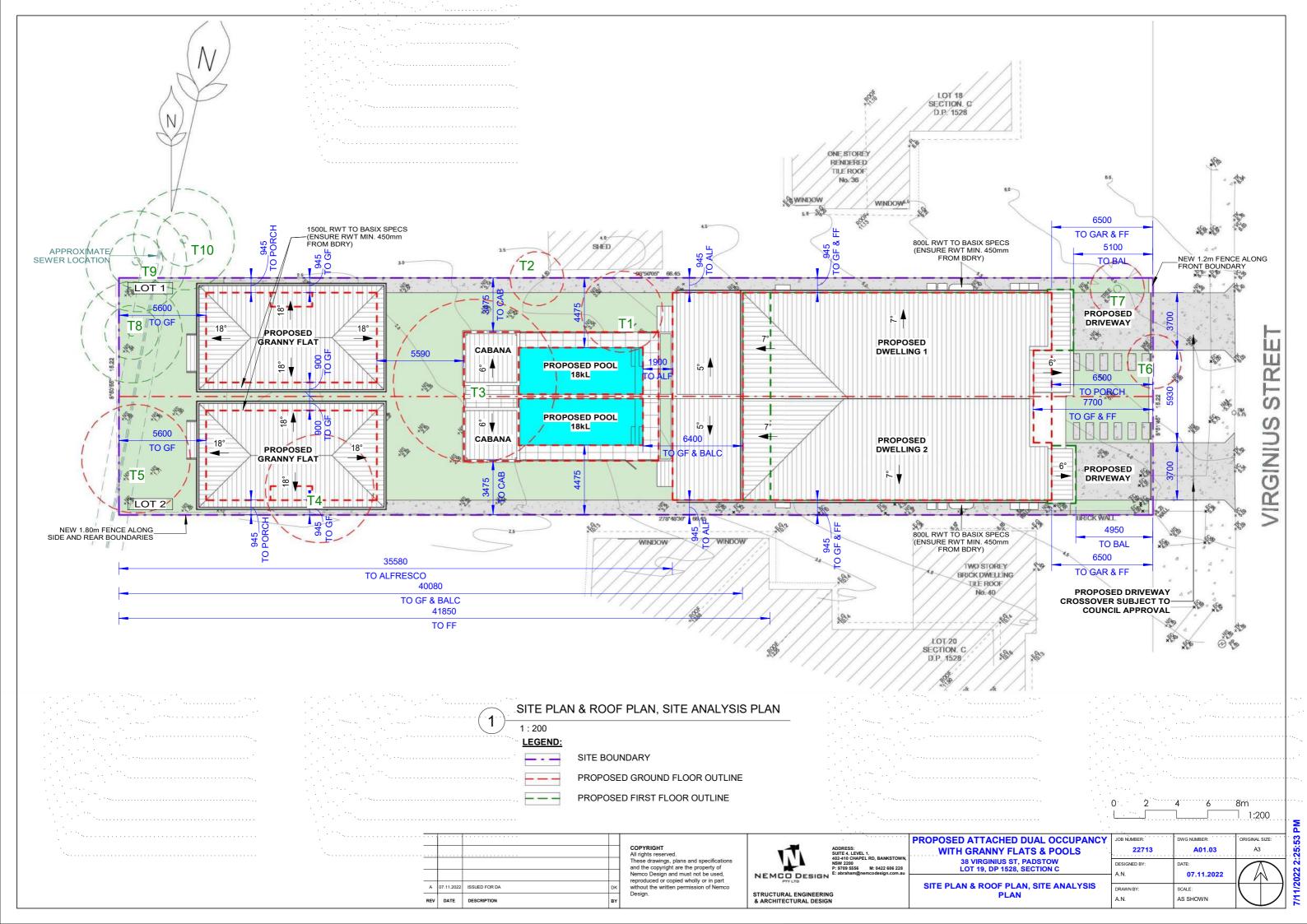
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ARCHITECTURAL DESIGN	

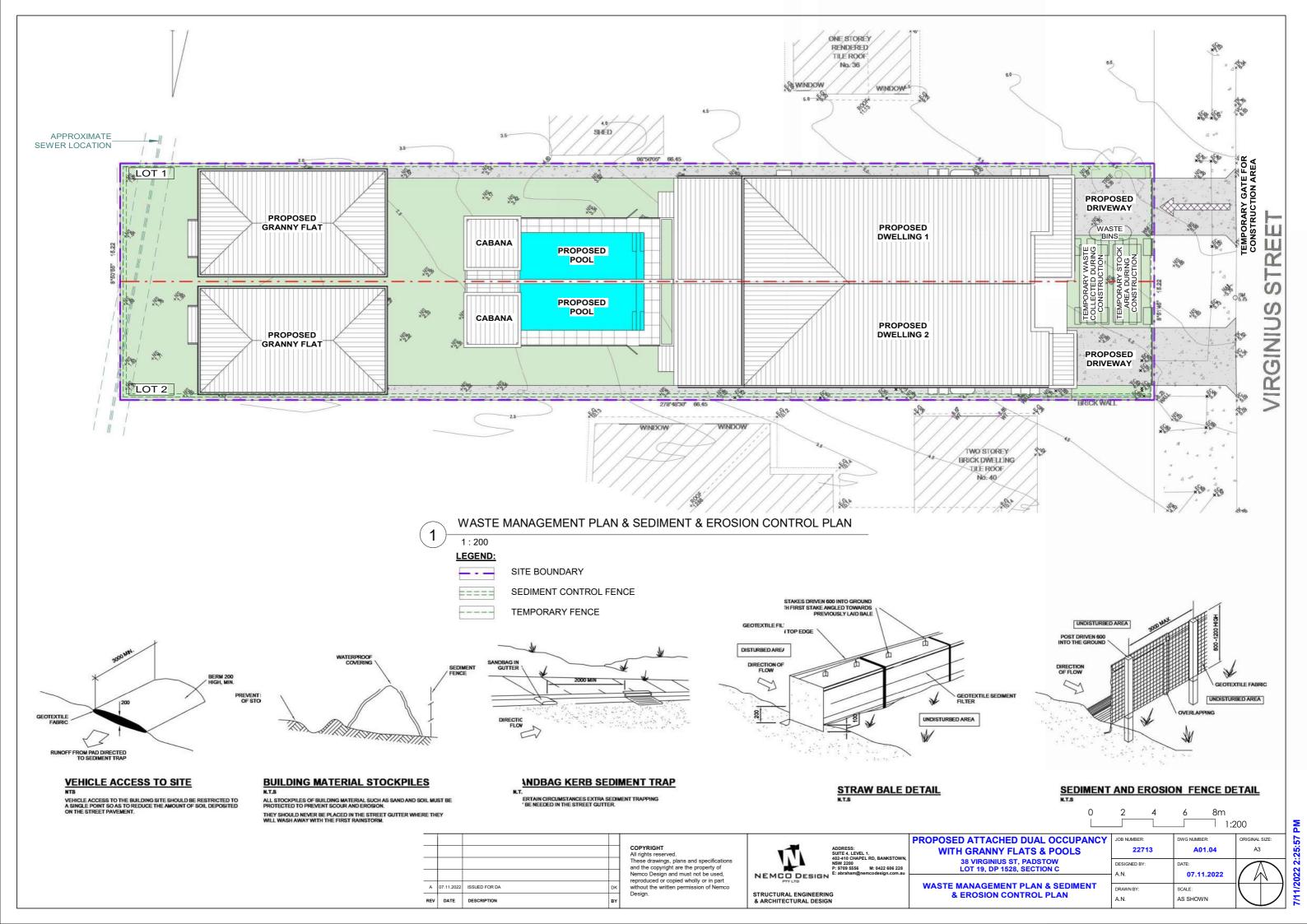
ROPOSED ATTACHED DUAL OCCUPANCY WITH GRANNY FLATS & POOLS	JC
38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C	DE
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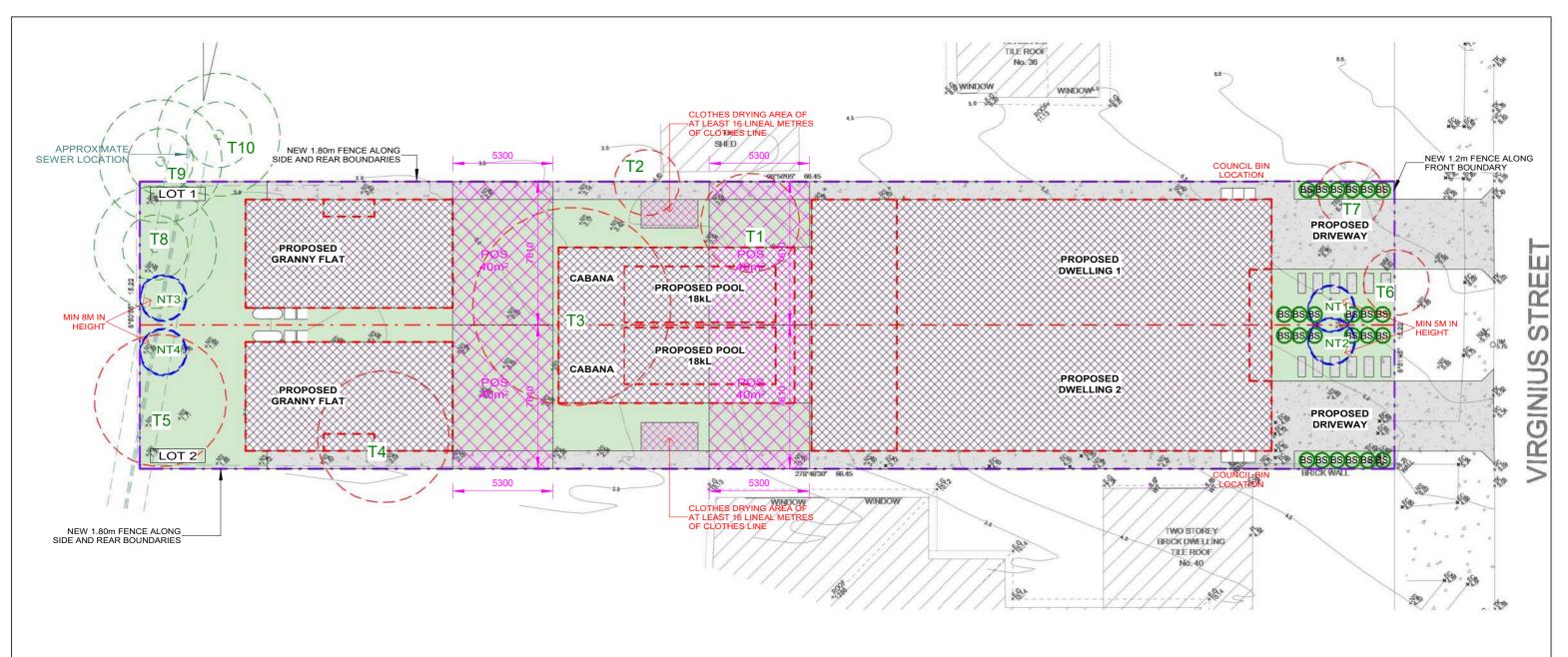
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A00	A3
DESIGNED BY:	DATE:	
A.N.	07.11.2022	
DRAWN BY:	SCALE:	
A.N.	AS SHOWN	





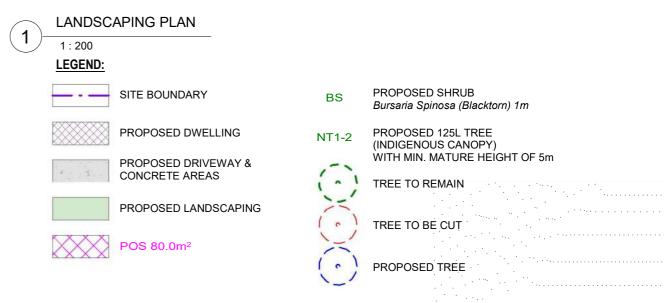






2.	Minimum soil standards for plant sizes are provided in
	accordance with the Table below.

Tree Size	Height	Spread	Min Soil Area	Min soil depth
Large trees	>12m	>8m	10 x 10m	1200mm
Medium trees	8-12m	4-8m	6 x 6m	1000mm
Small trees	5-8m	<4m	3.5 x 3.5m	800mm
Shrubs	2	-1	n/a	500-600mm
Groundcover	8		n/a	300-450mm
Turf	-	*	n/a	200mm



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ADDRESS:
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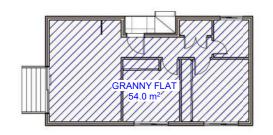
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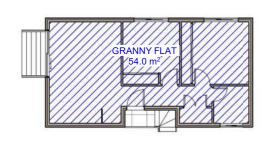
	PROPOSED ATTACHED DUAL OCCUPANCY	JOB
	WITH GRANNY FLATS & POOLS	
•	38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C	DES A.N
		Α.Ι
	LANDSCAPING PLAN	DRA
		A.N

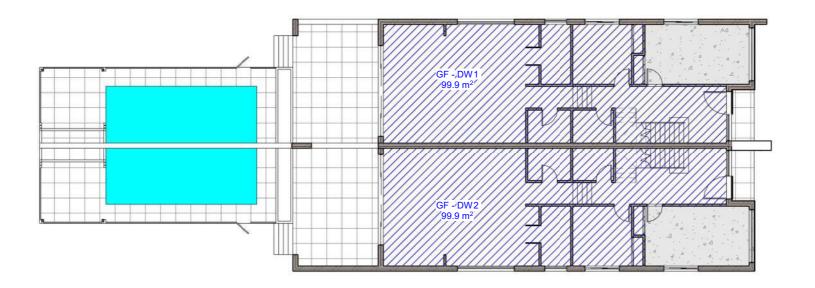
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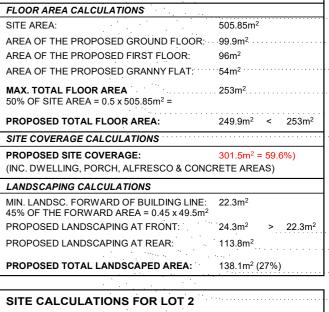
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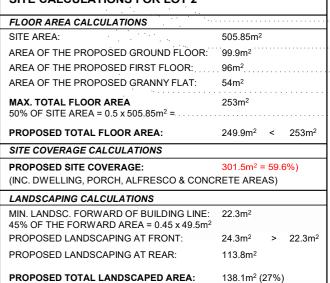


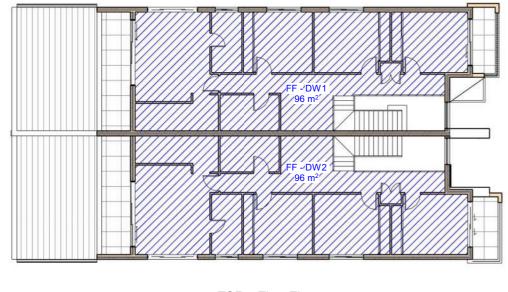


FSR - Ground Floor
1:200

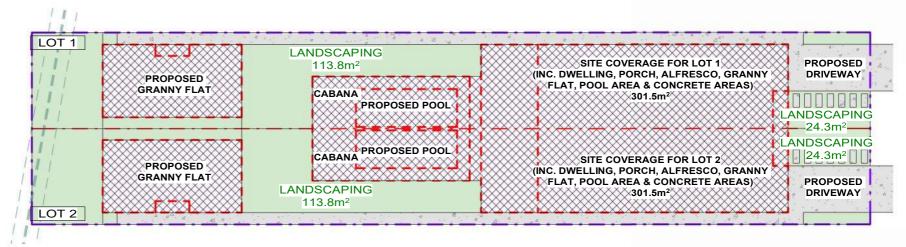


SITE CALCULATIONS FOR LOT 1





PSR - First Floor
1: 200



3 LANDSCAPING
1:300

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POSED ATTACHED DUAL OCCUPANCY	JOE
WITH GRANNY FLATS & POOLS	
38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C	DE
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SITE CALCULATIONS	DR
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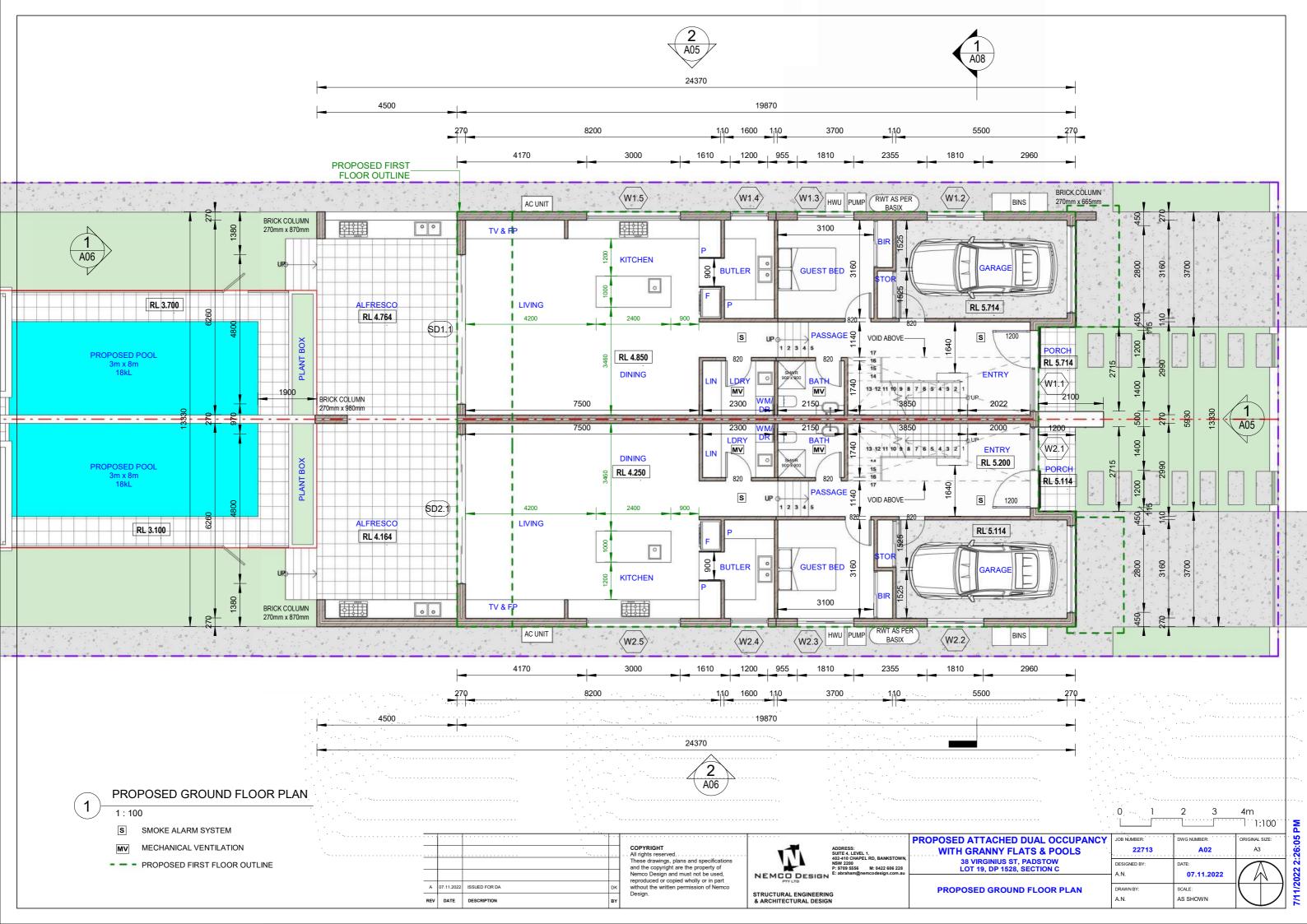
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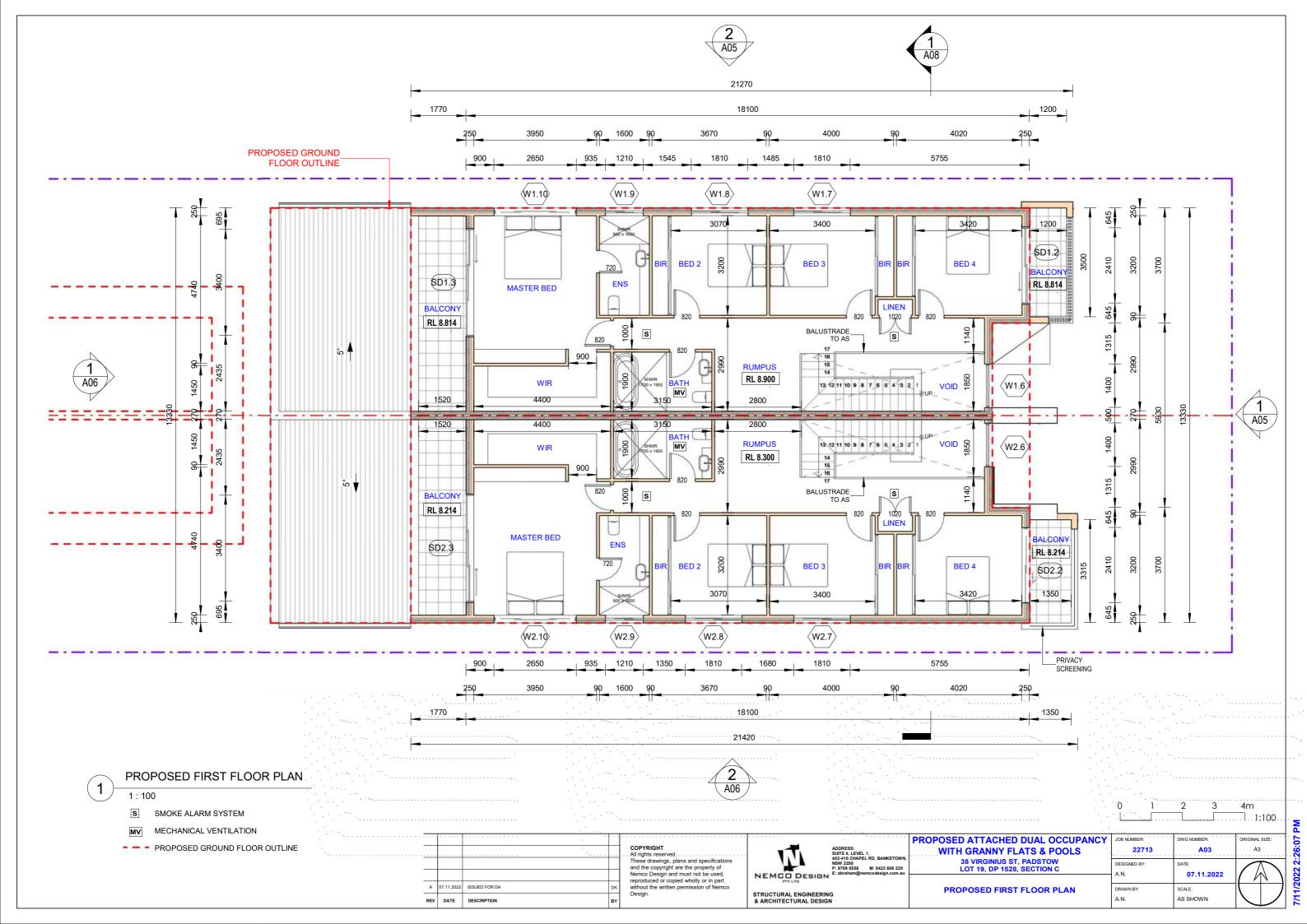
EY JOB NUMBER: DWG NUMBER: ORIGINAL SIZE:
A01.06 A3

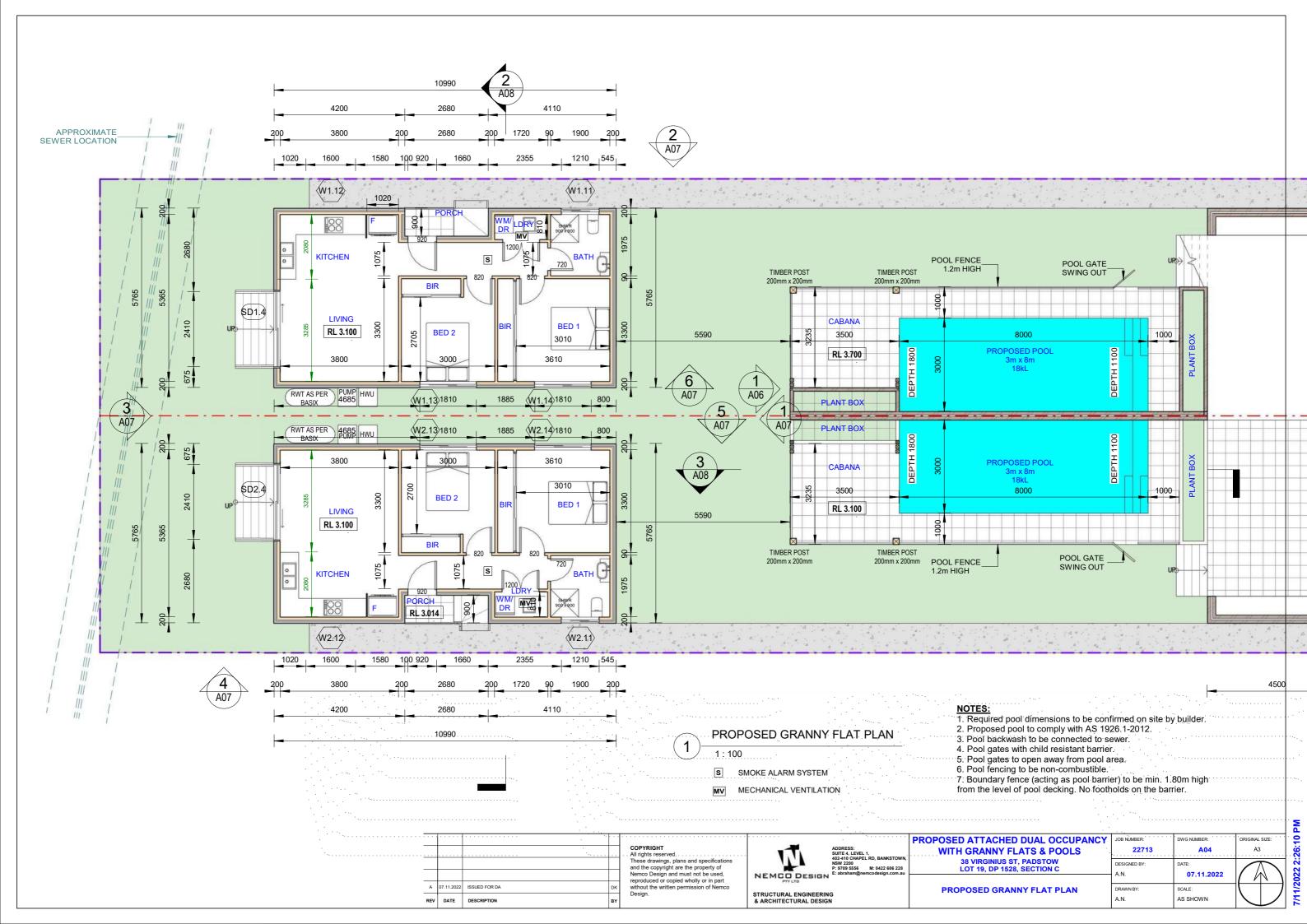
DESIGNED BY: DATE:
A.N. 07.11.2022

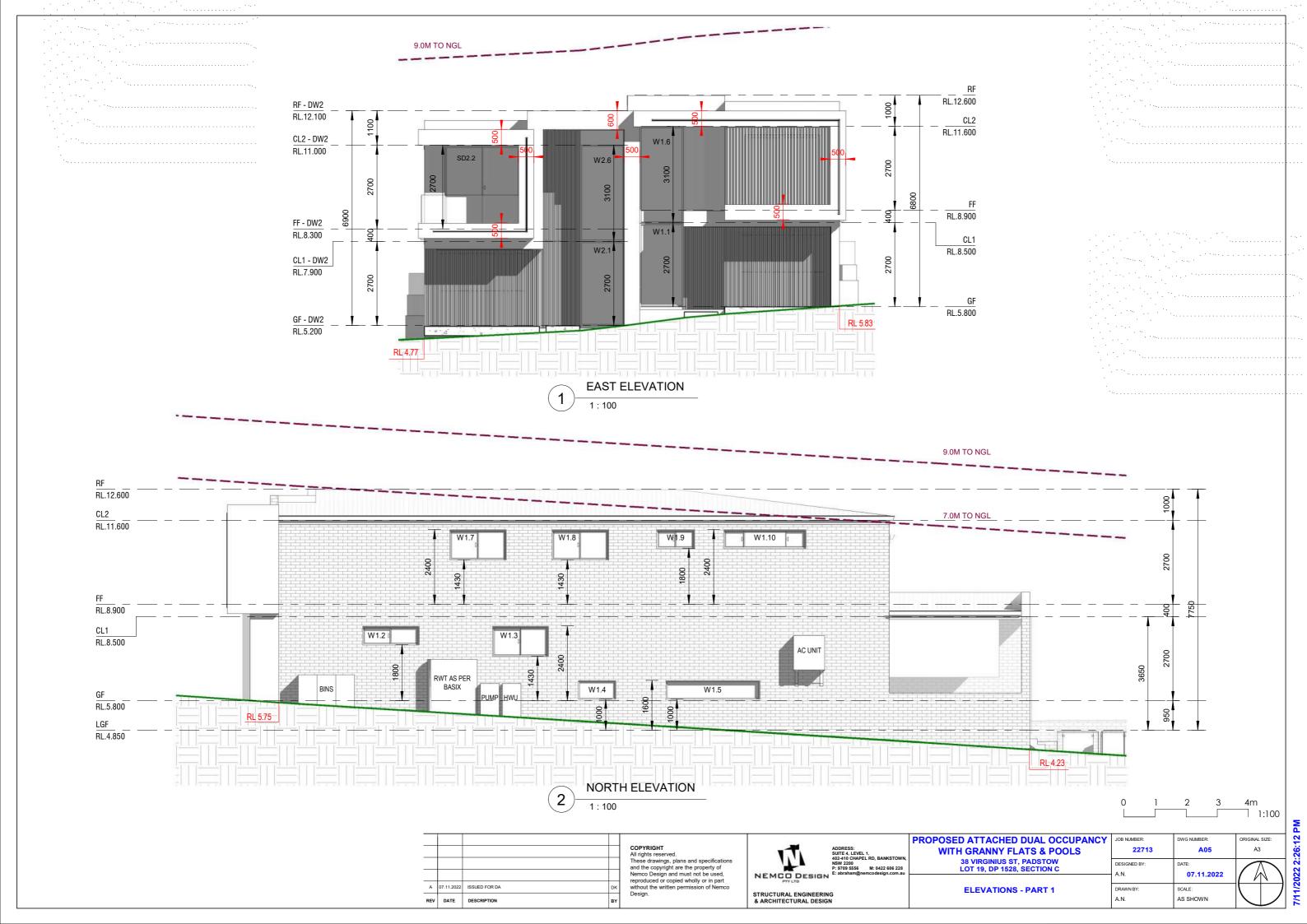
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A.N. AS SHOWN

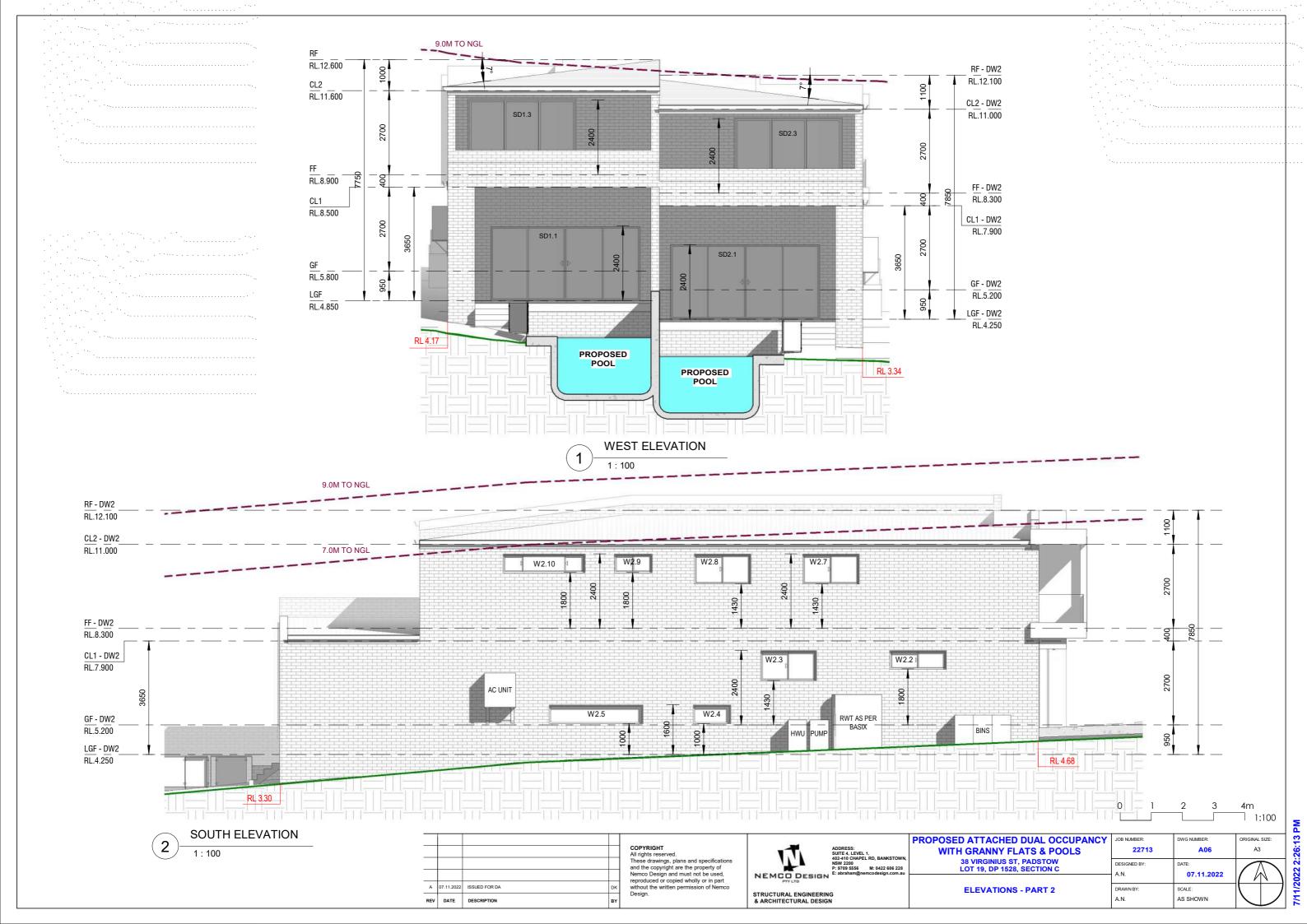
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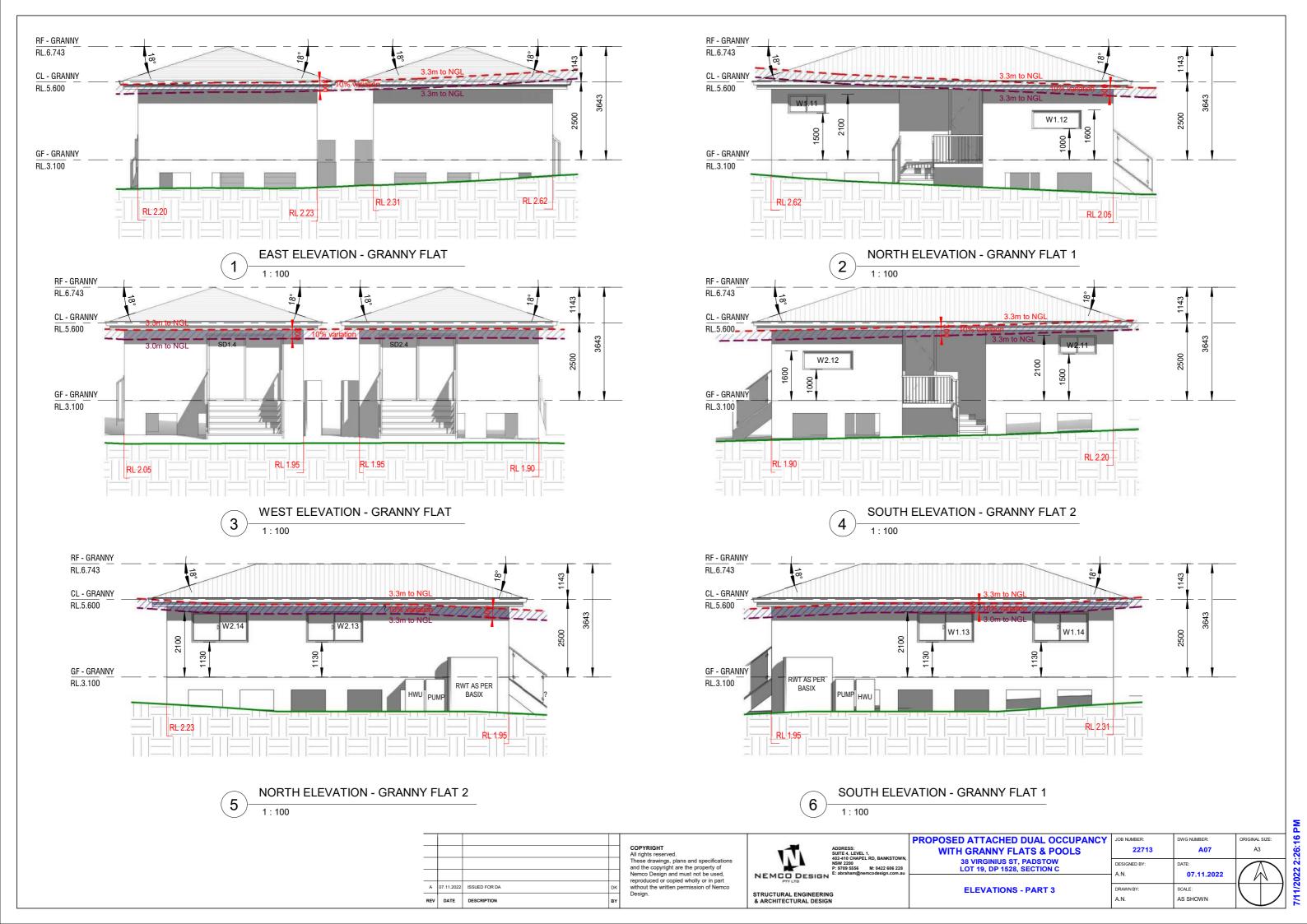


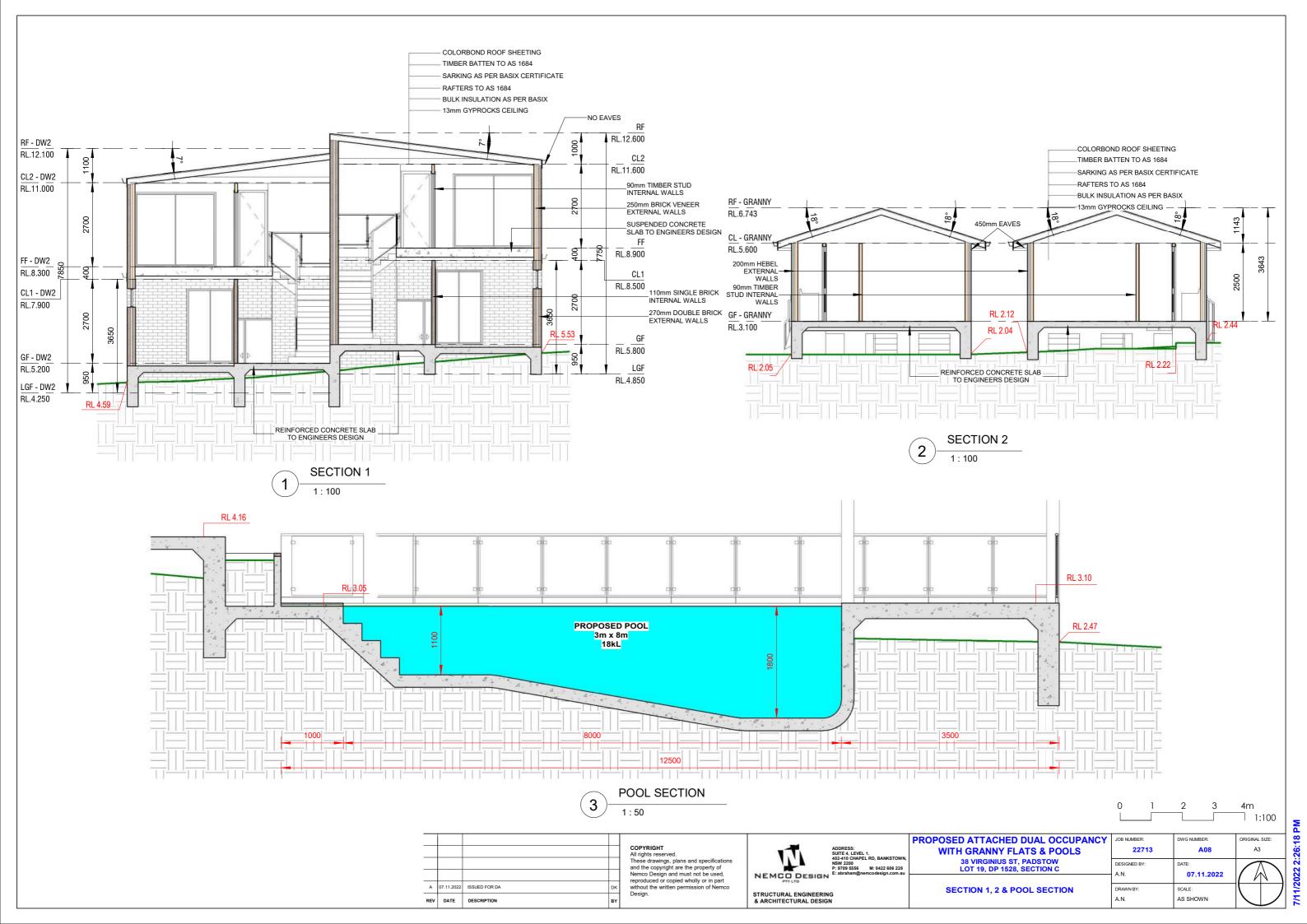


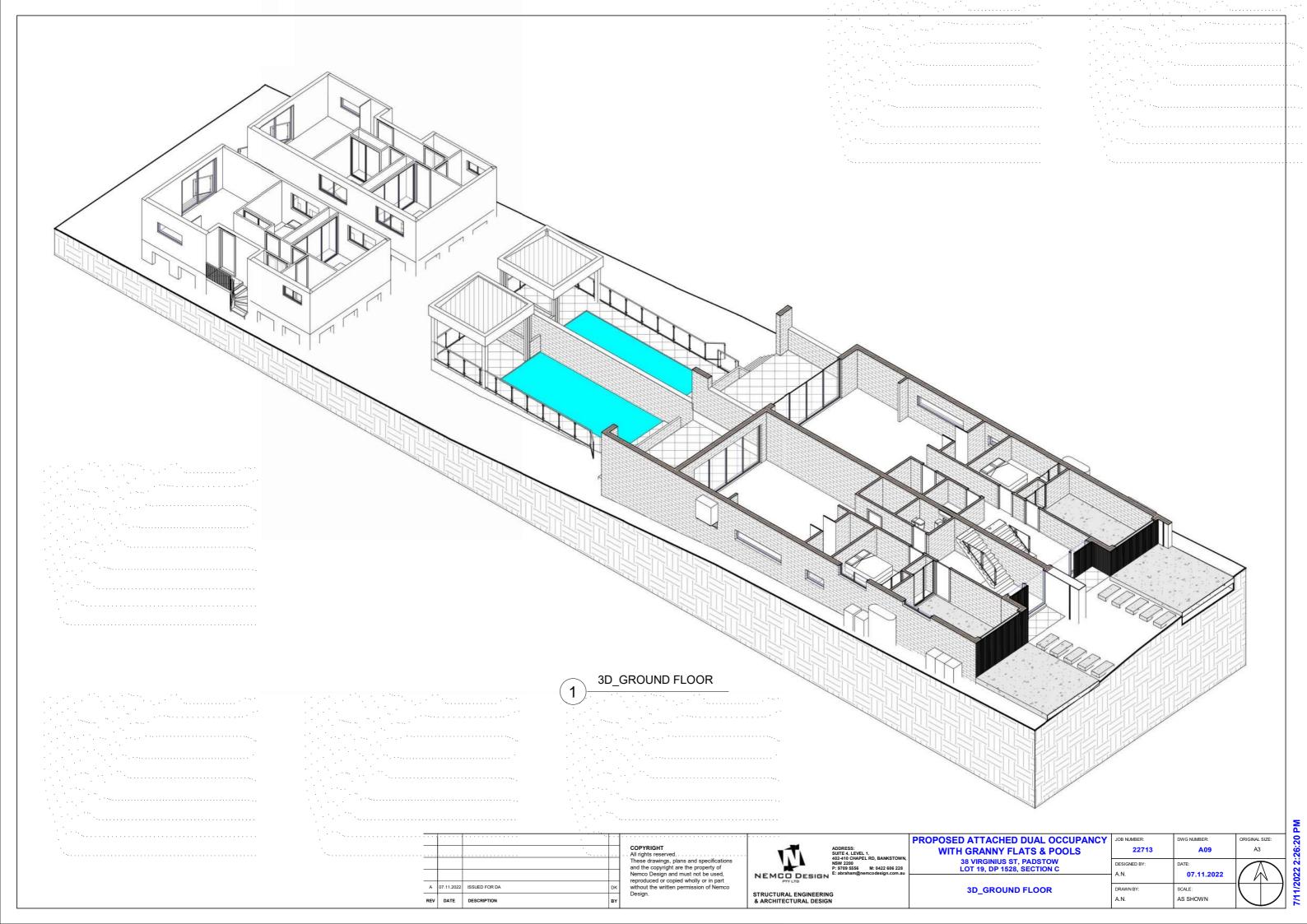


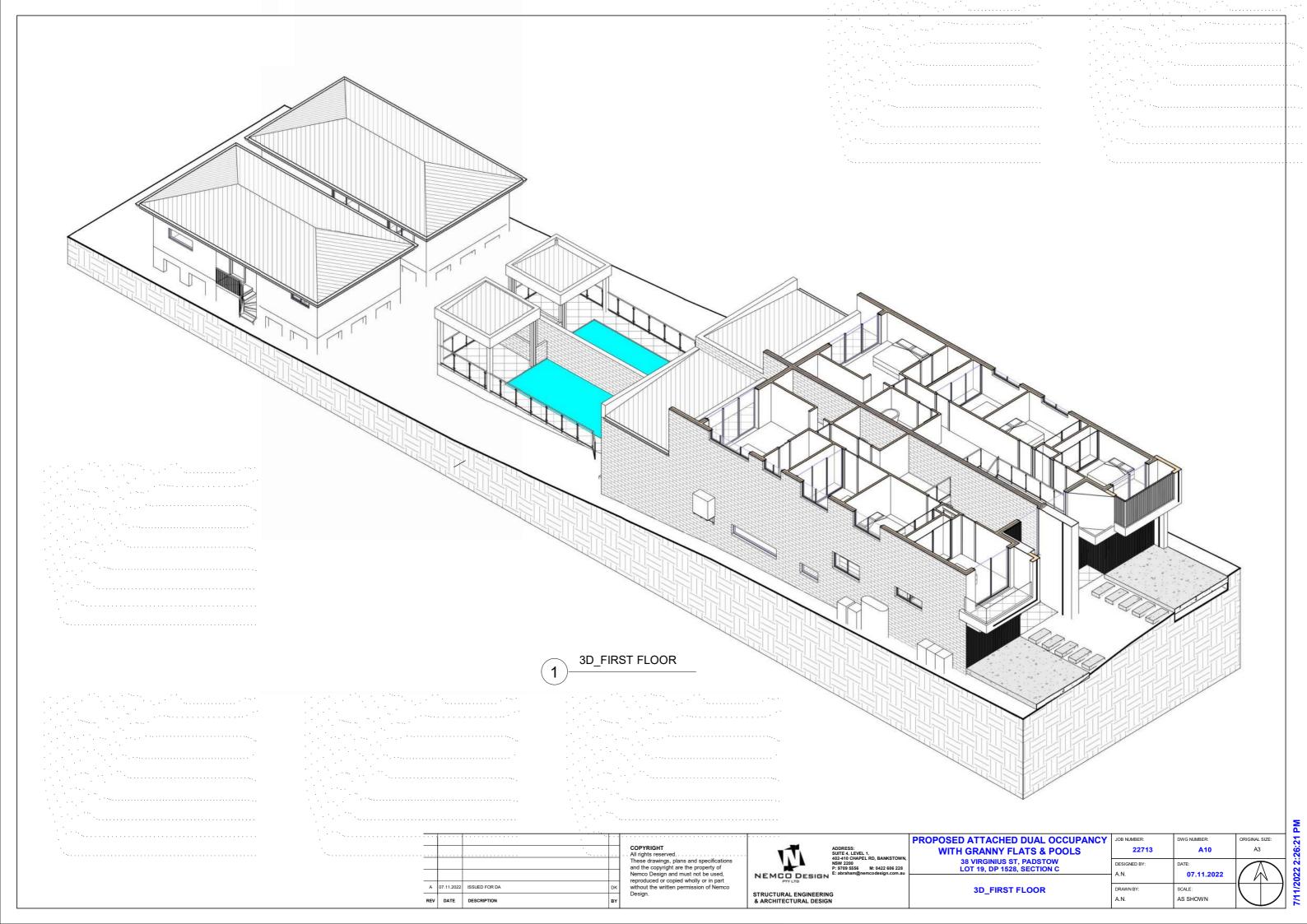


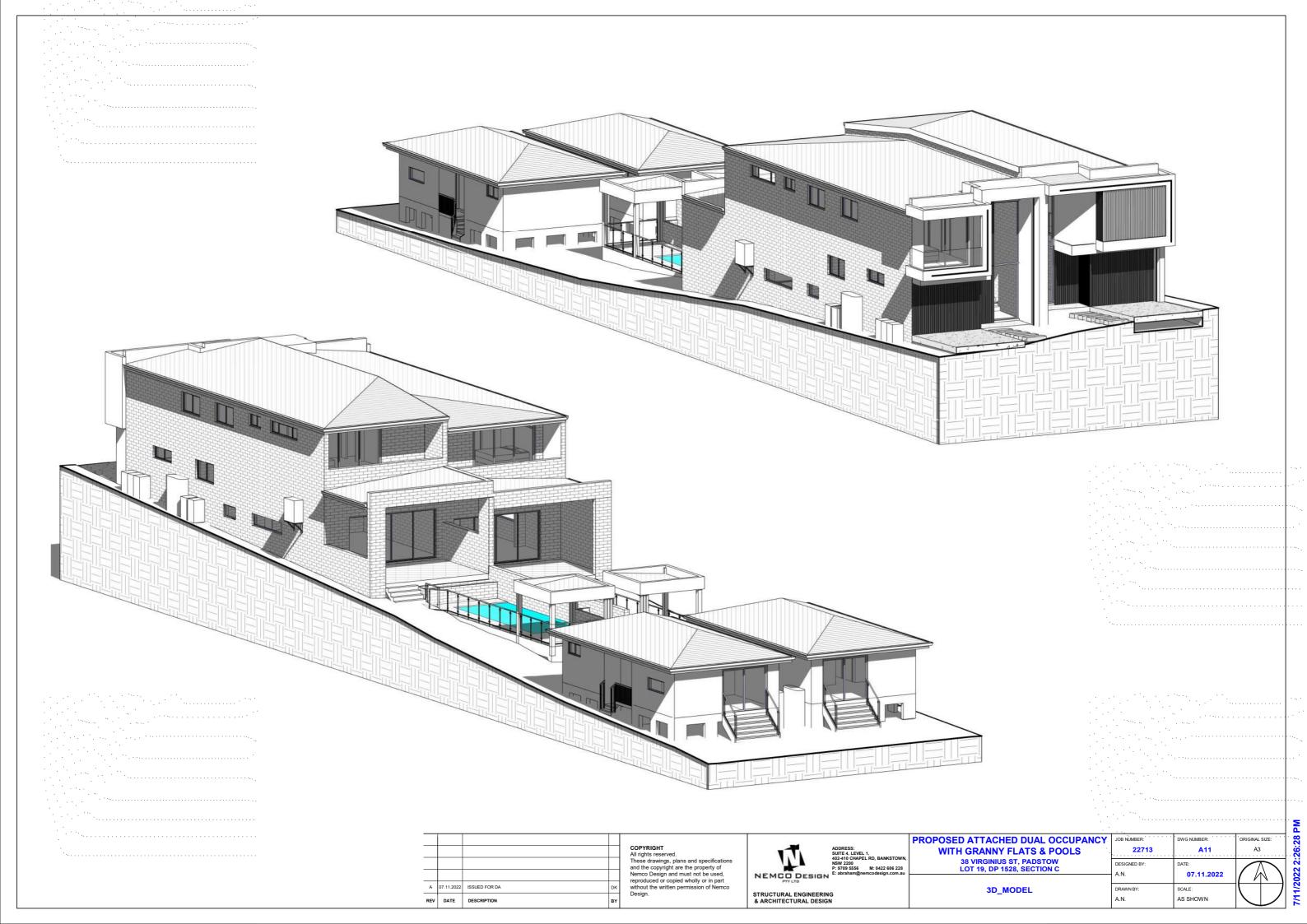












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STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

## PROPOSED ATTACHED DUAL OCCUPANCY WITH GRANNY FLATS & POOLS 38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C

3D\_MODEL

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A12	A3
DESIGNED BY:	DATE:	
A.N.	07.11.2022	
DRAWN BY:	SCALE:	
A.N.	AS SHOWN	
	22713  DESIGNED BY: A.N.  DRAWN BY:	22713         A12           DESIGNED BY:         DATE:           A.N.         07.11.2022           DRAWN BY:         SCALE:

WINDOW SCHEDULE - DW1					
Mark	Height	Width	Area	Level	
W1.1	2700	1400	3.78 m <sup>2</sup>	GF	
W1.2	600	1810	1.09 m²	GF	
W1.3	970	1810	1.76 m²	GF	
W1.4	600	1200	0.72 m <sup>2</sup>	LGF	
W1.5	600	3000	1.80 m²	LGF	
W1.6	3100	1400	4.34 m²	FF	
W1.7	970	1810	1.76 m²	FF	
W1.8	970	1810	1.76 m²	FF	
W1.9	600	1210	0.73 m <sup>2</sup>	FF	
W1.10	600	2650	1.59 m²	FF	
W1.11	600	1210	0.73 m <sup>2</sup>	GF - GRANNY	
W1.12	600	1600	0.96 m <sup>2</sup>	GF - GRANNY	
W1.13	970	1810	1.76 m²	GF - GRANNY	
W1.14	970	1810	1.76 m²	GF - GRANNY	
Grand to	otal: 14		24.51 m²		

	WIND	OW SCH	HEDULE	- DW2
Mark	Height	Width	Area	Level
W2.1	2700	1400	3.78 m <sup>2</sup>	GF - DW2
W2.2	600	1810	1.09 m <sup>2</sup>	GF - DW2
W2.3	970	1810	1.76 m²	GF - DW2
W2.4	600	1200	0.72 m <sup>2</sup>	LGF - DW2
W2.5	600	3000	1.80 m²	LGF - DW2
W2.6	3100	1400	4.34 m²	FF - DW2
W2.7	970	1810	1.76 m²	FF - DW2
W2.8	970	1810	1.76 m²	FF - DW2
W2.9	600	1210	0.73 m <sup>2</sup>	FF - DW2
W2.10	600	2650	1.59 m²	FF - DW2
W2.11	600	1210	0.73 m <sup>2</sup>	GF - GRANNY
W2.12	600	1600	0.96 m <sup>2</sup>	GF - GRANNY
W2.13	970	1810	1.76 m²	GF - GRANNY
W2.14	970	1810	1.76 m²	GF - GRANNY
Grand total: 14 24.51 m <sup>2</sup>				

GLASS DOOR SCHEDULE - DW1					
Mark	Mark Height Width Area Level				
SD1.1	2400	4800	11.52 m²	LGF	
SD1.2	2400	2410	5.78 m <sup>2</sup>	FF	
SD1.3	2400	3400	8.16 m <sup>2</sup>	FF	
SD1.4	2100	2410	5.06 m <sup>2</sup>	GF - GRANNY	
Grand to	otal: 4		30.53 m <sup>2</sup>		

GLASS DOOR SCHEDULE - DW2					
Mark	Mark Height Width Area Level				
SD2.1	2400	4800	11.52 m²	LGF - DW2	
SD2.2	2700	2410	6.51 m <sup>2</sup>	FF - DW2	
SD2.3	2400	3400	8.16 m <sup>2</sup>	FF - DW2	
SD2.4	2100	2410	5.06 m <sup>2</sup>	GF - GRANNY	
Grand to	Grand total: 4			•	

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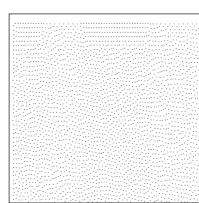
PROPOSED ATTACHED DUAL OCCUPANCY	ŀ
WITH GRANNY FLATS & POOLS	l
38 VIRGINIUS ST, PADSTOW	Г

LOT 19, DP 1528, SECTION C	
WINDOWS & DOOR SCHEDULE	

OB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A13	A3
ESIGNED BY:	DATE:	
A.N.	07.11.2022	
RAWN BY:	SCALE:	
LN.	AS SHOWN	







01: WHITE RENDER



02: MONUMENT



03: CONCRETE FINISH



04: WOOD FINISH



05: ALUMINIUM WINDOWS & DOORS



06: GLASS BALUSTRADE



07: COLORBOND ROOF



08: FASCIA & GUTTER

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STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

ROPOSED ATTACHED DUAL OCCUPANCY
WITH GRANNY FLATS & POOLS
38 VIRGINIUS ST, PADSTOW
LOT 19, DP 1528, SECTION C

LOT 19, DP 1528, SECTION C

SCHEDULE OF FINISHES

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A14	A3
DESIGNED BY:	DATE:	
A.N.	07.11.2022	$/ \wedge \rangle$
DRAWN BY:	SCALE:	
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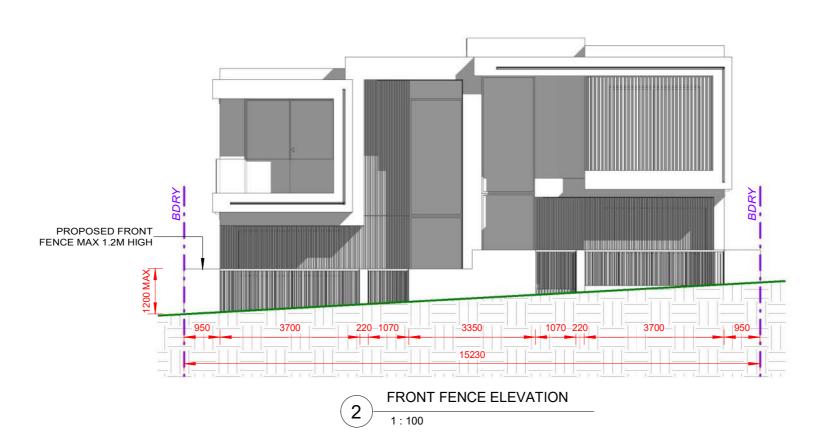






STREETSCAPE VIEW

## **VIRGINIUS STREET**

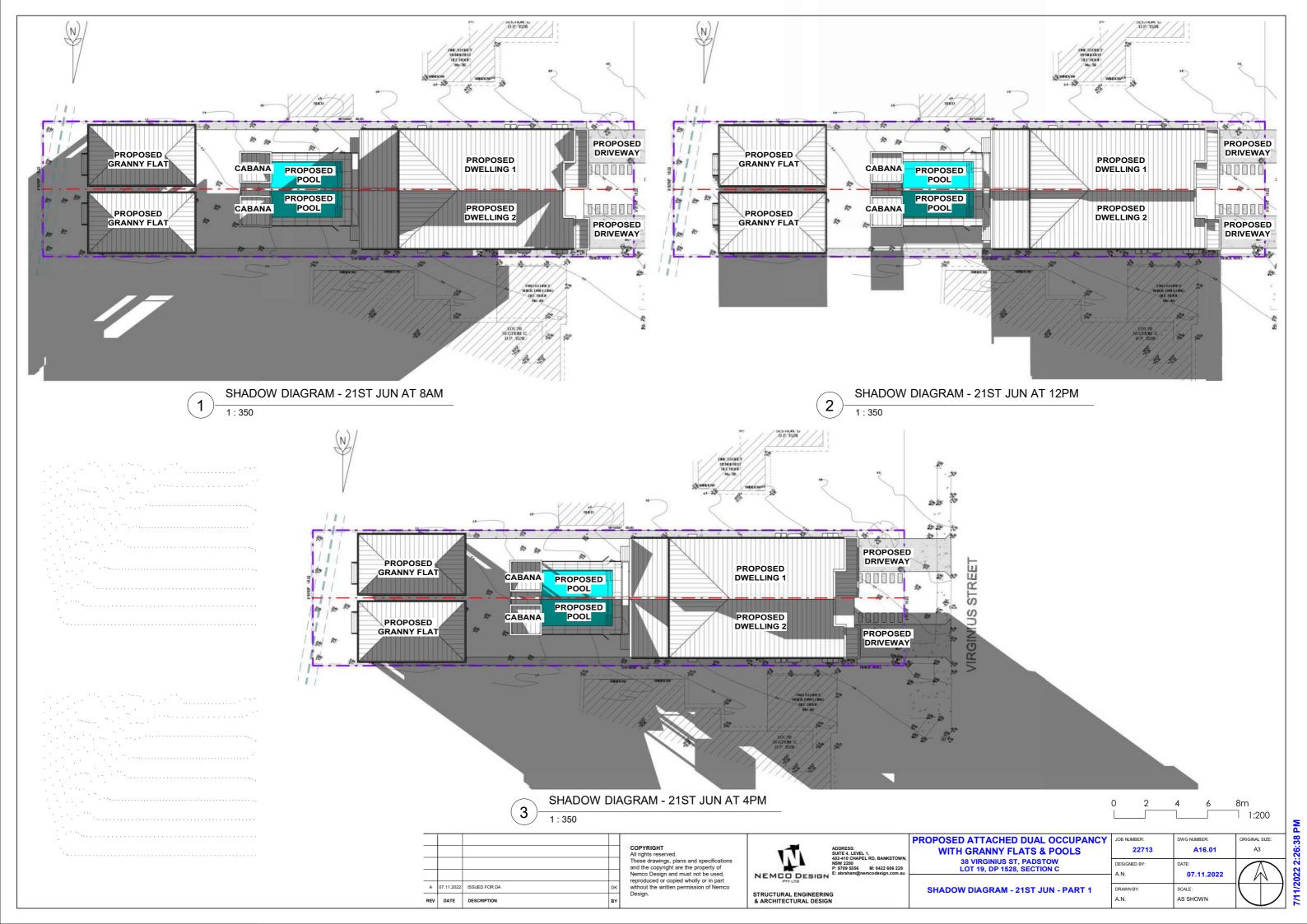


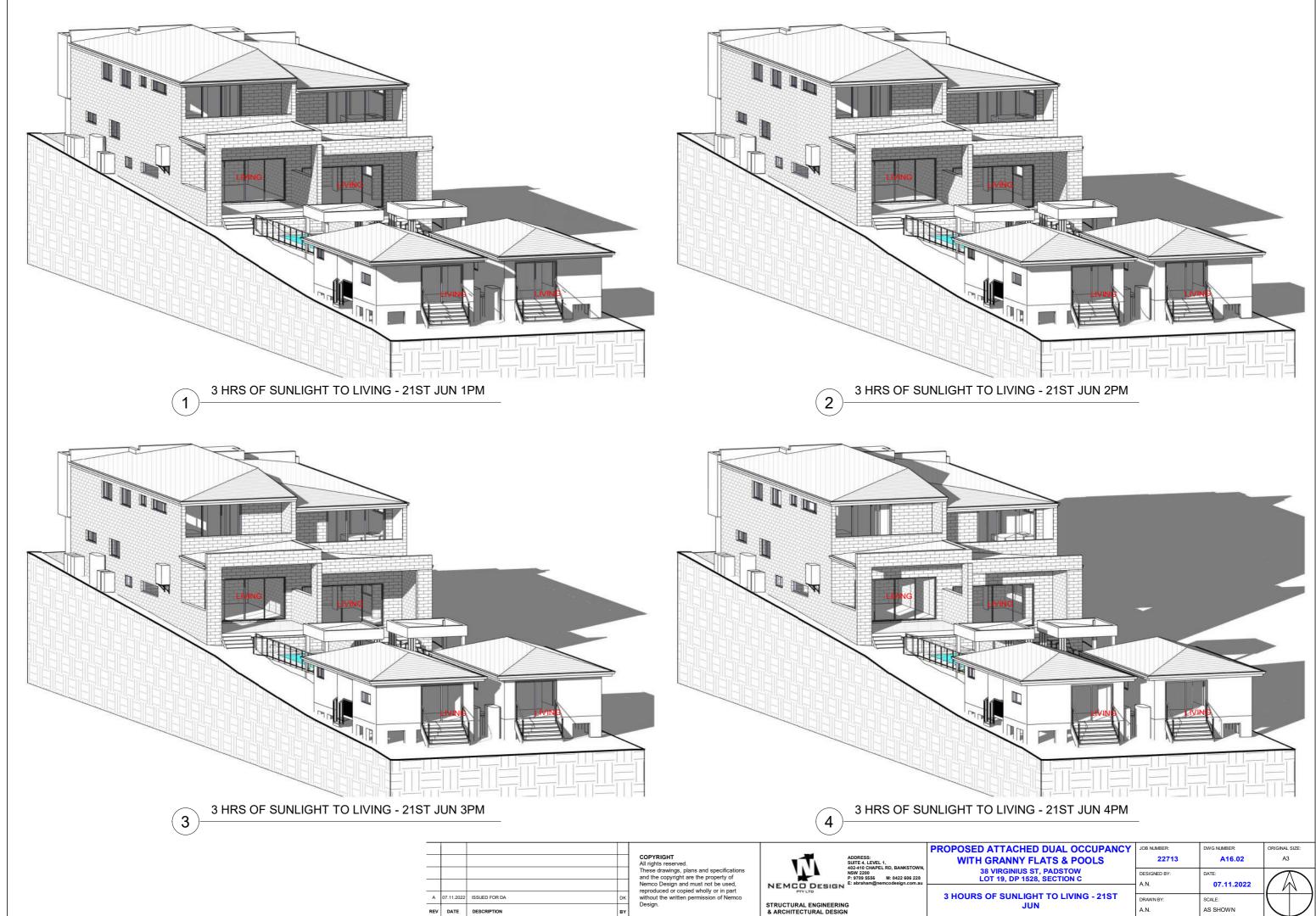
REV DATE DESCRIPTION

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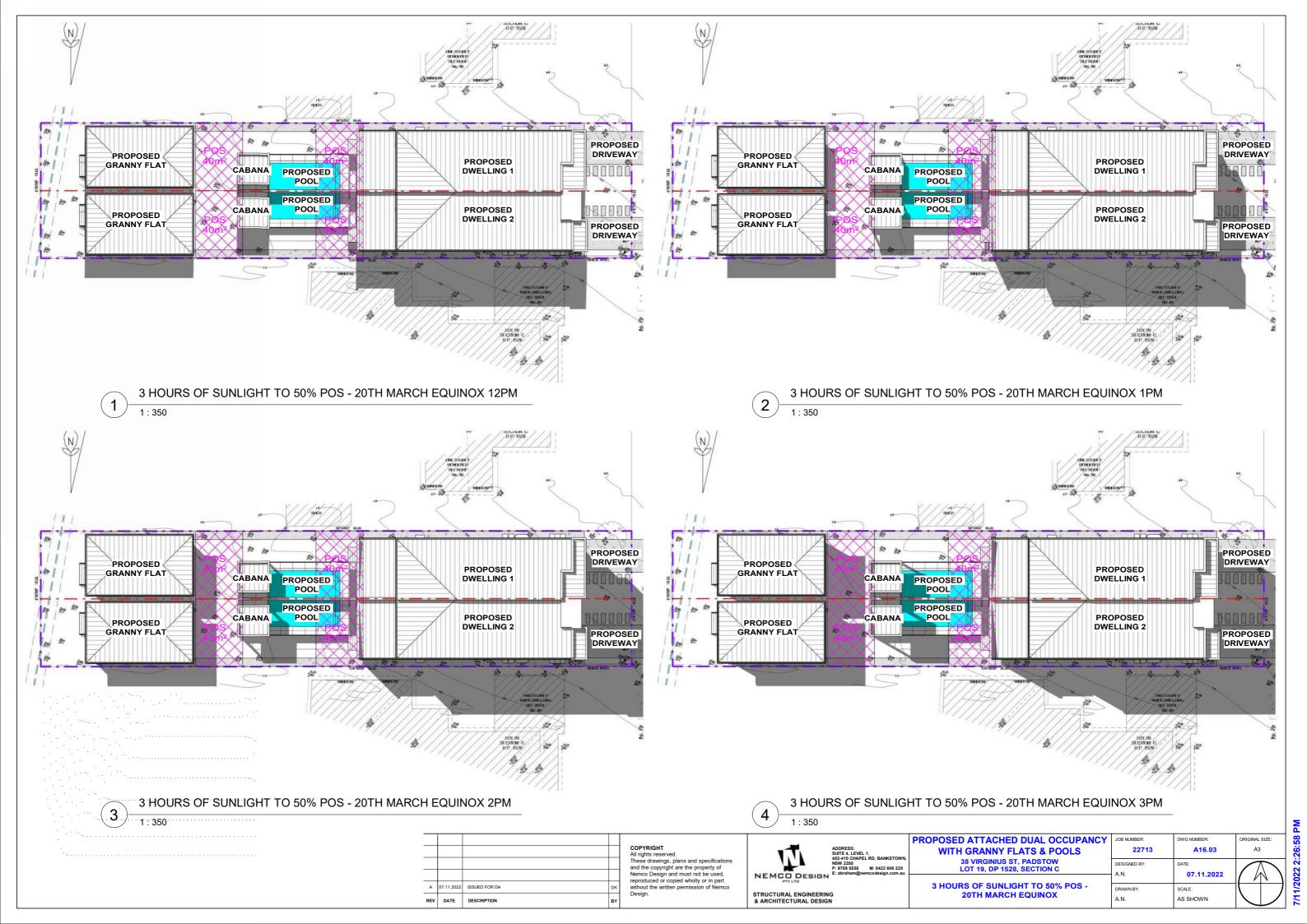
NEMCO DESIGN STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

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<u>.</u>			
PROPOSED ATTACHED DUAL OCCUPANCY	JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
WITH GRANNY FLATS & POOLS	22713	A15	A3
38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C	DESIGNED BY:	DATE: 07.11.2022	
	A.N.	07.11.2022	
STREETSCAPE VIEW & FRONT FENCE ELEVATION	DRAWN BY:	SCALE:	$\setminus$
ELEVATION	A.N.	AS SHOWN	$ \setminus $





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### **BASIX** Certificate Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1351171S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

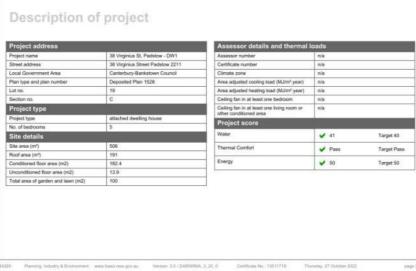
Secretary
Date of issue: Thursday, 27 October 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project summary		
Project name	38 Virginius St, Pac	dstow - DW1
Street address	38 Virginius Street	Padstow 2211
Local Government Area	Canterbury-Banksto	own Council
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	C	
Project type	attached dwelling h	ouse
No. of bedrooms	5	
Project score		
Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	<b>√</b> 50	Target 50

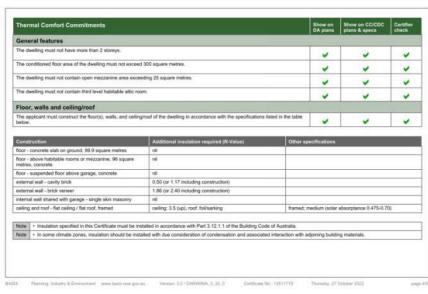
Certificate Prepared by	
Name / Company Name: Nemco Design	
ABN (if applicable): 46166160505	

BASIK Planning, Industry & Environment I were basis new gov.au Version: 3.61 DARWINIA\_3\_20\_0 Cent

	✓ 50	Target 50	Project type
			No. of bedrooms
			Site details
			Site area (m²)
			Roof area (m²)
			Conditioned floor area (m2)
			Unconditioned floor area (m2)
			Total area of garden and lown
ficate Prepared by			J-5
Company Name: Nemco I	Design		
applicable): 46166160505			
Certificate No.: 13511715	Thursday, 27 October 2022	page 1/9	BASIK Planning, Industry & Emiro



STORE AND STORE	Buch Botto	5000 DW (105000000	10000
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certif
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		~	
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		~	V
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		~	
The applicant must install beain taps with a minimum rating of 6 ster in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	
The applicant must configure the rainwater tank to collect rain runoff from at least 190.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	·
The applicant must connect the rainwater tank to:			
all toilets in the development		~	
<ul> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		~	
Swimming pool			
The swimming pool must not have a volume greater than 18 kilofitres.	~	~	
The swimming pool must have a pool cover.		~	
The swimming pool must be outdoors.	0.00	-62	



	nmitments				Show on DA plans	Show on CC/CDC plans & specs	Certifie
Windows, glazed doo	rs and skyligh	its					
			evices described in the table belo ons must be satisfied for each wir		~	V	~
The dwelling may have 1 sk	ylight (<0.7 square	metres) which is not	listed in the table.		~	_	-
The following requirements	must also be satisf	fied in relation to each	window and glazed door.		-		
For the following glass a     Aluminium single cle	•		Š				
- Aluminium double (a							
- TimberluPVC/fibregli	ass single clear						
<ul> <li>Timber/uPVC/fibregli</li> </ul>	ass double (air) de	ar					
	s/vegetation must	be of the height and d	istance from the centre and the bi	ase of the window and glazed	V	~	~
<ul> <li>Overshadowing building</li> </ul>	s/vegetation must	be of the height and d	istance from the centre and the bi	sise of the window and glazed Shading Device (Dimen: 18%)		Overshadowing	~
Overshadowing building door, as specified in th	s/vegetation must e 'overshadowing' Maximum	be of the height and d column.  Maximum width		Shading Device (Dimen:		Overshadowing	_
Overshadowing building door, as specified in th  Windowlylazed door no.  North facing	s/vegetation must e 'overshadowing' Maximum	be of the height and d column.  Maximum width		Shading Device (Dimen:		Overshadowing not overshadowed	_
Overshadowing building door, as specified in the Windowiglazed door no.  North facing  W1.2	s/vegetation must e 'overshadowing' Maximum height (mm)	be of the height and d column.  Maximum width (mm)	Туре	Shading Device (Dimen 19%)		Processing Control	•
Overshadowing building door, as specified in th Windowiglazed door no.  North facing W1.2 W1.3	s/vegetation must e overshadowing' Maximum height (mm)	be of the height and di column.  Maximum width (mm)	Type  aluminium, single, clear	Shading Device (Dimen 10%)		not overshadowed	_
Overshadowing building door, as specified in the Windowlylazed door no.      North facing W1.2 W1.3 W1.4	s/vegetation must e 'overshadowing' Maximum height (mm) 600 970	Maximum width (mm)  1810	Type  aluminium, single, clear aluminium, single, clear	Shading Device (Dimental) 10%) anne		not overshadowed not overshadowed	_
Overshadowing building door, as specified in the Windowing lazzed door no.  North facing W1.2 W1.3 W1.4 W1.5	s/vegetation must e 'overshadowing' Maximum height (mm) 600 970 600	Maximum width (mm)  1810 1810 1200	Type  aluminium, single, clear aluminium, single, clear aluminium, single, clear	Sheding Device (Dimen 18%) none none		not overshadowed not overshadowed not overshadowed	
Overshadowing building door, as specified in th  Wiindow/glazed door no.	Maximum height (mm)  600 970 600 600	Maximum width (mm)  1810 1810 1200 3000	aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear	Sheding Device (Dimen 18%) none none none		not overshadowed not overshadowed not overshadowed not overshadowed	
Overshadowing building door, as specified in the windowing building door, as specified in the windowing leased door no.  North facing W1.2 W1.3 W1.4 W1.5 W1.5 W1.7 W1.8	s/vegetation must e 'overshadowing' Maximum haight (nm) 600 970 600 600	Maximum width (mm) 1810 1810 1200 3000 1810	aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear	Shading Device (Olman 19%)  none none none none		not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed	
Overshadowing building door, as specified in the Virindowing lead of our no.  North facing W1.2 W1.3 W1.4 W1.5 W1.7	s/vegetation must e 'overshadowing' Maximum height (mm) 600 970 600 970 970	Maximum width (mm) 1810 1820 3000 1810 1810 1810	aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear	Shading Device (Dimen 19%)  none none none none none none		not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed	

Windowiglazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
W1.1	2700	1400	aluminium, single, clear	eave 2100 mm, 3600 mm above head of window or glazed door	not overshadowed
W1.6	3100	1400	aluminium, single, clear	eave 2100 mm, 500 mm above head of window or glazed door	not overshadowed
SD1.2	2400	2410	aluminium, single, clear	eave 1400 mm, 0 mm above head of window or glazed door	not overshadowed
West facing		100			
SD1.1	2400	4800	aluminium, single, clear	eave 4500 mm, 1250 mm above head of window or glazed door	>4 m high, <2 m away
SD1.3	2400	3400	aluminium, single, clear	eave 1800 mm, 150 mm above head of window or glazed door	>4 m high, <2 m away

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	~	V	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 4.5 Star (old label)		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 4.5 Star (old label)		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 4.5 Star (old label)		~	-
Ventilation			
The applicant must install the following exhaust systems in the development:	T		
At least 1 Bathroom; individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	~
Kitchen: individual fan, ducted to façade or roof; Operation control; manual switch on/off		~	-
Laundry: individual fair, ducted to façade or roof: Operation control: manual switch on/off		100	
Artificial lighting			-
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the	_	T	_
following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
at least 5 of the bedrooms / study; dedicated		~	
at least 1 of the living / dining rooms; dedicated			
the kitchen: dedicated		~	-
the stroner, dedicated			

all bathrooms/toilets; dedicated	Show on DA plans	Show on CC/CDC plans & specs	Certifie
- mit unter transmitten, versienen		~	
the laundry; dedicated			
all halways: dedicated		~	-
	-	~	
Natural lighting	V.		
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	V
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		~	
The applicant must install a timer for the swimming pool pump in the development.		~	
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX terinitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		~	
The applicant must install a fixed indoor or shellered clothes drying line as part of the development.		~	

ns the person carrying out	the development			
"Show on DA plans" colu	mn must be shown on the plans a	accompanying the development a	oplication for the proposed developmen	t (if a
"Show on CC/CDC plans	and specs" column must be sho	m in the plans and specifications	accompanying the application for a cor	estruction
"Certifier check" column		thority as having been fulfilled, bo	efore a final occupation certificate(eithe	r interim or

REV	DATE	DESCRIPTION	ву
Α	07.11.2022	ISSUED FOR DA	DK

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STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

PROPOSED ATTACHED DUAL OCCUPANCY	JO
WITH GRANNY FLATS & POOLS	
38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C	DE
	Α.
BASIX CERTIFICATE - DW1	DF

B NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A17.01	A3
SIGNED BY:	DATE:	
N.	07.11.2022	
RAWN BY:	SCALE:	
N.	AS SHOWN	

Single Dwelling

Certificate number: 1351202S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 1009/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 27 October 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	38 Virginius St, Pac	stow - DW2
Street address	38 Virginius Street	Padstow 2211
Local Government Area	Canterbury-Banksto	own Council
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	С	
Project type	attached dwelling h	ouse
No. of bedrooms	5	
Project score		
Water	<b>✓</b> 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by	
Name / Company Name: Nemco Desig	1
ABN (if applicable): 46166160505	

Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier
General features					
The dwelling must not have more than 2 storeys.			~	V	~
The conditioned floor area of the dwelling must not exceed	~	~	~		
The dwelling must not contain open mezzanine area excee	ding 25 square metres.		~	~	v
The dwelling must not contain third level habitable affic roo	m.		~	~	V
Floor, walls and ceiling/roof					-
The applicant must construct the floor(s), walls, and ceiling below.	froof of the dwelling in accordance with the specifications listed in the	e table	~	~	~
		-			
Construction	Additional insulation required (R-Value)	Other spec	ifications		
floor - concrete slab on ground, 99.9 square metres	nit				
floor - above habitable rooms or mezzanine, 96 square	nii				

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 99.9 square metres	nit	
floor - above habitable rooms or mezzanine, 96 square metres, concrete	nil	
floor - suspended floor above garage, concrete	nii	
external wall - cavity brick	0.50 (or 1.17 including construction)	
external wall - brick veneer	1.86 (or 2.40 including construction)	
internal wall shared with garage - single skin masonry	nii	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foll/sarking	framed; medium (solar absorptance 0.475-0.70)

Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building mate

Planning, Industry & Environment . were basis new gov as Version: 3.6 / DARWIRIA, 3, 20, 0 Cardicate No.: 13511716 Thursday, 27 October 2022

Project summary		
Project name	38 Virginius St, Pad	istow - DW2
Street address	38 Virginius Street	Padstow 2211
Local Government Area	Canterbury-Banksto	own Council
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	С	
Project type	attached dwelling h	ouse
No. of bedrooms	5	
Project score		
Water	<b>✓</b> 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	<b>✓</b> 50	Target 50

Project address		Assessor details and thermal	loads	
Project name	38 Virginius St. Padstow - DW1	Assessor number	n/a	
Street address	38 Virginius Street Padstow 2211	Certificate number	n/a	
Local Government Area	Canterbury-Bankstown Council	Climate zone	nia	
Plan type and plan number	Deposited Plan 1528	Area adjusted cooling load (MJ/m².year)	n/a	
Lot no.	19	Area adjusted heating load (MJ/m².year)	n/a	
Section no.	c	Ceiling fan in at least one bedroom	n/a	
Project type		Coiling fan in at least one living room or other conditioned area	n/a	
Project type	attached dwelling house	Project score	Dis.	
No. of bedrooms	5	(Control Control Contr		
Site details		Water	✓ 41	Target 40
Site area (m²)	506	Thermal Comfort	✓ Pass	Target Pa
Roof area (m²)	191	50000000000000000000000000000000000000	200000	20070000
Conditioned floor area (m2)	182.4	Energy	<b>✓</b> 50	Target 50
Unconditioned floor area (m2)	13.9	-		
Total area of garden and lawn (m2)	100			

Description of project

Assessor number	n/a		Fixtures
Dertificate number	n/a		The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <=
Climate zone	nia		all showers in the development.
Area adjusted cooling load (MJ/m².year)	n/a		The applicant must install a tollet flushing system with a minimum rating of 6 star in ea
Area adjusted heating load (MJ/m².year)	nia		The applicant must install taps with a minimum rating of 6 star in the kitchen in the de
Ceiling fan in at least one bedroom	n/a		and appropriate the second supervisor of the second state of the s
Ceiling fan in at least one living room or other conditioned area	nia		The applicant must install beain taps with a minimum rating of 6 ster in each bathroom
Project score			Alternative water
Water	✓ 41	Target 40	Rainwater tank
Thermal Comfort	✓ Pass	Target Pass.	The applicant must install a rainwater tank of at least 800 litres on the site. This rainw accordance with, the requirements of all applicable regulatory authorities.
Energy	<b>✓</b> 50	Target 50	The applicant must configure the rainwater tank to collect rain runoff from at least 190 development (excluding the area of the roof which drains to any stormwater tank or pr
			The applicant must connect the nainwater tank to: - all fellets in the development - at least one outdoor tap in the development (Note: NSW Health does not recommon onsumption in areas with potable water supply)
			Swimming pool
			The swimming pool must not have a volume greater than 18 kilotitres.
			The swimming pool must have a pool cover.

Thermal Comfort Cor	nmitments		Show on DA plans	Show on CC/CDC plans & specs	Certifie		
Windows, glazed doo	ors and skyligh	its					
			evices described in the table belo ons must be satisfied for each wir		~	V	~
The dwelling may have 1 sk	~	~	~				
For the following glass a     Aluminium single cle     Aluminium double (a     TimberluPVC/fibregi	and frame types, the ear in) clear		window and glazed door: e performed by visual inspection.		~	-	* *
TimberluPVC/fibregi     Overshadowing building door, as specified in the	s/vegetation must e 'overshadowing'	be of the height and di column.	istance from the centre and the bi		v	~	V
TimberluPVC/fibregi     Overshadowing building door, as specified in the	s/vegetation must	be of the height and di	istance from the centre and the b	Shading Device (Dimer 19%)	nsion within	Overshadowing	_
Timber/uPVC/fibregit     Overshadowing building	s/vegetation must e 'overshadowing'	be of the height and di column.  Maximum width		Shading Device (Dimer	naion within	Overshadowing	V
TimberluPVC/fbregi     Overshadowing building door, as specified in the Windowiglazed door no.	s/vegetation must e 'overshadowing'	be of the height and di column.  Maximum width		Shading Device (Dimer	nsion within	Overshadowing not overshadowed	_
TimberluPVC/foregi     Overshadowing building door, as specified in the Windowiglazed door no.  North facing	s/vegetation must e 'overshadowing' Maximum height (mm)	be of the height and di column.  Maximum width (mm)	Туре	Shading Device (Dimer 10%)	nsion within	(*************************************	_
TimberluPVC/foregi     Overshadowing building door, as specified in the Windowiglazzed door no.  North facing W1.2	s/vegetation must e overshadowing*  Maximum height (mm)	be of the height and di column.  Maximum width (mm)	Type aluminium, single, clear	Shading Device (Dimer 10%)	nsion within	not overshadowed	
- TimberluPVC/fbregi  Overshadowing building door, as specified in the Windowinglazed door no.  North facing W1.2 W1.3	svegetation must e 'overshadowing' Maximum height (mm) 600 970	be of the height and di column.  Maximum width (mm)  1810	Type:  aluminium, single, clear aluminium, single, clear	Sheding Device (Dimer 10%)	nsion within	not overshadowed not overshadowed	_
- TimberuPVC/foregi  - Overshadowing building door, as specified in the Windowiglazed door no.  North facing Wt.2 Wt.3 Wt.4	svegetation must e 'overshadowing' Maximum height (mm) 600 970 600	Maximum width (mm)  1810 1810 1200	Type  aluminium, single, clear eluminium, single, clear aluminium, single, clear	Shading Device (Ointer 19%) none none	nsion within	not overshadowed not overshadowed not overshadowed	
- TimberulPVC/fibregi  * Overshadowing building door, as specified in the Windowiglassed door no.  North facing W1.2 W1.3 W1.4 W1.5 W1.7	Maximum helght (mm)	Maximum width (mm)  1810 1810 1200 3000	aluminium, single, clear aluminium, single, clear aluminium, single, clear aluminium, single, clear	Shading Device (Olmer 18%)  one none none	naion within	not overshadowed not overshadowed not overshadowed not overshadowed	
- TimberuPVC/Boregi  - Overshadowing building door, as specified in the Windowsglazed door no.  North facing W12 W1.3 W1.4 W1.5	Maximum height (nm)  600 970 600 970	Maximum width (mm) 1810 1810 1200 2000 1810	Type aluminium, single, clear	Shading Device (Ofmer 19%) cone cone cone cone	asion within	not overshadowed not overshadowed not overshadowed not overshadowed not overshadowed	

	-						
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimensio 10%)	n within	Overshadowing	
North facing							
W1.2	600	1810	aluminium, single, clear	none		not overshadowed	
W1.3	970	1810	aluminium, single, clear	none		not overshadowed	
W1.4	600	1200	aluminium, single, clear	none		not overshadowed	
W1.5	600	3000	aluminium, single, clear	none		not overshadowed	
W1.7	970	1810	aluminium, single, clear	none		not overshadowed	
W1.8	970	1810	aluminium, single, clear	none		not overshadowed	
W1.9	600	1210	aluminium, single, clear	none		not overshadowed	
W1.10	600	2650	aluminium, single, clear	none		not overshadowed	
East facing				- 17			

~	~	~						
- 2								
thin	Overshadowing							
_	not overshadowed							
$\rightarrow$	not overshadowed							
	not overshadowed							
$\rightarrow$	not overshadowed							
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day 27	October 2022	bade	99 BASIK	Planning, Industry & Environment	sees basis me gov as	Version: 3.5 / DARWINIA_3_20_0	Certificate No.: 13512025	Thursday, 27 October 2022
			1					
		2						
no w	Show on CC/CDC plans & specs	Certifier: check	Le	gend				
	p a specs		In	these commitments, "applicant" me	ans the person carrying o	ut the development.		
	~	~				iumn must be shown on the plans acc	companying the development ap	plication for the proposed develo
			de	velopment application is to be lodge	ed for the proposed develo	nment)		

						~	
The applicant must install be	esin taps with a min	imum rating of 6 star	in each bathroom in the developme	ent.		~	
Alternative water							
Rainwater tank							
The applicant must install a accordance with, the require			e site. This rainwater tank must me ties.	et, and be installed in	~	~	~
The applicant must configur development (excluding the			from at least 190,6 square metres wwater tank or private dam).	of the roof area of the		~	~
The applicant must connect	the rainwater tank t	0:					
all toilets in the developr	ment						
• at least one outdoor too	in the development	Note: NOW House a	loes not recommend that rainwater	his used for human			1
consumption in areas v			nues mucresummerid that harrangeer	se used on righten		~	~
Swimming pool							
The swimming pool must no	ot have a volume gre	sater than 18 kilolitres			-	~	
The swimming pool must ha	ave a pool cover.				-	~	
The swimming pool must be	outdoors.				~	~	
		z-cus n		e e la company		mark the same	*
Planning, Industry & En  Windowslobused door no.  Windowslobused door no.			Trop.	Certificate No. 13511715 Shadion Device (Direct		October 2002	ı
Windowiglazed door no.	Maximum height (mm)	Maximum width	Type	Cartificate No. 13511715 Shading Device (Dime 10%)		October 2022  Overshadowing	,
Windowiglazed door no.	Maximum	Maximum width	Type aluminium, single, clear	Shading Device (Dim		WP-04-CO F-VP-2	
Windowigiszed door no. W2.5 W2.7	Maximum height (mm)	Maximum width	Туре	Shading Device (Dime		Overshadowing	
Windowiglazed door no. W2.5 W2.7 W2.8	Maximum height (mm)	Maximum width (mm)	Type aluminium, single, clear	Shading Device (Dime 10%)		Overshadowing not overshadowed	
	Maximum height (mm) 600 970	Maximum width (mm) 3000 1810	Type aluminium, single, clear aluminium, single, clear	Shading Device (Dime 19%) none		Overshadowing not overshadowed not overshadowed	P

eave 4500 mm, 1200 mm above >4 m high, 2-5 m away head of window or glazed door

~

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Schedule of BASIX commitments

West facing SD2.1

SD2.3

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
Hot water			
The applicant must install the following not water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	~	V	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating; 4.5 Star (old label)		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 4.5 Star (old label)		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 Star (old label)		~	
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom; individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	~
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	
Laundry: individual fan, ducted to façade or roof: Operation control: manual switch on/off		-	-
Artificial lighting	-		
The applicant must ensure that the "primary type of artificial Sphring" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
at least 5 of the bedrooms / study; dedicated		~	V
at least 1 of the living / dining rooms; dedicated		1	
		~	~
the kitchen; dedicated			

	DA plans	plans & specs	checi
all bathrooms/toilets; dedicated		4	
the laundry; dedicated			
all hallways; dedicated			1
Natural lighting	- 4	_	,
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	Y	Y .	100
	~	~	- 1
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		~	
The applicant must install a timer for the swimming pool pump in the development.		~	
Other		*	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		-	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		~	

In these commitments, "applicant" means the pe	rson carrying out the development.			
Commitments identified with a w in the "Show of development application is to be lodged for the p		the plans accompanying the developm	ent application for the proposed developme	ont (if a
Commitments identified with a w in the "Show of certificate / complying development certificate for		ust be shown in the plans and specifica	ations accompanying the application for a co	enstruction
Commitments identified with a w in the "Certifie final) for the development may be issued.	er check" column must be certified by a c	certifying authority as having been fulfill	ed, before a final occupation certificate(eith	er interim

REV	DATE	DESCRIPTION	ву
Α	07.11.2022	ISSUED FOR DA	DK

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PETY LTD

PTY LTD

PTY LTD STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

PROPOSED ATTACHED DUAL OCCUPANCY WITH GRANNY FLATS & POOLS
38 VIRGINIUS ST, PADSTOW LOT 19, DP 1528, SECTION C
LOT 19, DP 1526, SECTION C
BASIX CERTIFICATE - DW2

JOB NUMBER: DWG NUMBER: RIGINAL SIZE: A3 22713 A17.02 DESIGNED BY: A.N. 07.11.2022 DRAWN BY: SCALE: A.N. AS SHOWN



Building Sustainability Index www.basix.nsw.gov.au

## Single Dwelling

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments have the meaning given by the document entitled "BASIX Definitions" dated 10:09/2020 published by the Department, This document is available at www.basix.nas.gov.au

Secretary
Date of issue: Monday, 17 October 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	LOT 1-GRANNY FI Padutow	AT- 38 Virginius Stree
Street address	38 Virginius Street	Street Padstow 2211
Local Government Area	Canterbury-Banksto	own Council
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	C	
Project type	separate dwelling h dwelling	ouse - secondary
No. of bedrooms	2	
Project score		
Water	<b>₩</b> 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	<b>✓</b> 54	Target 50
	10000	1251-710000

Certificate Prepared by	
Name / Company Name: Nemco Design	
ABN (if applicable): 46166160505	

Project address		Assessor details and thermal I	oads	
Project name	LOT 1-GRANNY FLAT- 38 Virginius Street.	Assessor number	n/a	
	Padstow	Certificate number	n/a	
Street address	38 Virginius Street Street Padstow 2211	Climate zone	nia	
Local Government Area	Canterbury-Bankstown Council	Area adjusted cooling load (MJ/lm².year)	nia	
Plan type and plan number	Deposited Plan 1528	Area adjusted heating load (MJ/m² year)	n/a	
Lot no.	19	Ceiling fan in at least one bedroom	n/a	
Section no. Project type	С	Ceiling fan in at least one living room or other conditioned area	nia	
Project type	separate dwelling house - secondary dwelling	Project score	No.	
No. of bedrooms	2	Water	<b>✓</b> 40	Target 40
Site details		Thermal Comfort	✓ Pass	Target Pass
Site area (m²)	506	G	20040-000	500000000
Roof area (m²)	70	Energy	<b>✓</b> 54	Target 50
Conditioned floor area (m2)	45.84		10	
Unconditioned floor area (m2)	4.85			
Total area of garden and lawn (m2)	100			
Roof area (m2) of the existing dwelling	140			
No. of bedrooms in the existing dwelling	2			

Description of project

ater Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier
xtures			
e applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in showers in the development.		~	V
e applicant must install a tollet flushing system with a minimum rating of 6 star in each toilet in the development.		~	V
e applicant must install tape with a minimum rating of 6 star in the kitchen in the development.		~	
e applicant must install beain taps with a minimum rating of 6 star in each bathroom in the development.		~	
ternative water			
invator tank			
e applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in cordance with, the requirements of all applicable regulatory authorities.	~	~	~
e applicant must configure the rainwater tank to collect rain runoff from at least 70 square metres of the roof area of the development soluding the area of the roof which drains to any stormwater tank or private dam).		~	V
e applicant must connect the rainwater tank to:			
all tollets in the development		~	-
at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		~	~

Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier
General features					
The dwelling must not have more than 2 storeys.			~		
The conditioned floor area of the dwelling must no	t exceed 300 square metres.				
			~	~	~
The dwelling must not contain open mezzanine an	ea exceeding 25 square metres.		~	~	~
The dwelling must not contain third level habitable	affic room.		~	-	v
Floor, walls and ceiling/roof					-
The applicant must construct the floor(s), walls, an oslow.	d ceiling/roof of the dwelling in accordance with the specifications	listed in the table	~	~	V
	d ceiling/roof of the dwelling in accordance with the specifications  Additional insulation required (R-Value)		ecifications	~	~
below.				~	~
pelow. Construction	Additional insulation required (R-Value)			~	~
selow. Senstruction loor - concrete slab on ground	Additional insulation required (R-Value)	Other sp	ecifications	im (solar absorptiance 0	(.475-0.70)
Construction floor - concrete slab on ground retermal wall - cavity brick teeling and roof - flat ceiling / pitched roof	Additional insulation required (R-Value) nil 0.50 (or 1.17 including construction)	Other sp.	ecifications		.475-0.70)
pelow. Construction	Additional insulation required (R-Value)			~	

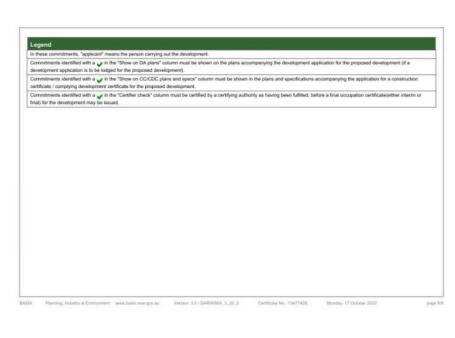
BASIK Planning, Industry & Environment I were basic new growing. Version: 3.0 / DARWINIA, 3, 20, 0 Gerificate No.: 13477405 Monday, 17 October 2022

The conditioned floor area of the develling must not exceed 300 square metres.  The develling must not contain open mezzanine area exceeding 25 square metres.  The develling must not contain their devel habitate affic room.  The develling must not contain their devel habitate affic room.  The policy walls and celling/roof  The applicant must construct the floor(s), walls, and celling/roof of the dwelling in accordance with the specifications fisted in the table policy.  Construction  Additional insulation required (R-Value)  Other specifications  top- concrete state or ground  all  insulation required (R-Value)  0.50 (or 1.17 including construction)
The dwelling must not contain open mezzanine area exceeding 25 square metries.  The dwelling must not contain third level habitable aftic room.  Floor, walls and celling/roof  The applicant must construct the floor(s), walls, and celling/roof of the dwelling in accordance with the specifications listed in the table below.  Construction  Additional insulation required (R-Value)  Other specifications  floor - concrete size on ground  All
The dwelling must not contain third level habitable affic room.  Floor, walls and ceiling/roof The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table onlow.  Construction Additional insulation required (R-Value)  Other specifications  To the specifications.
Floor, walls and ceiling/roof The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table onlow.  Construction Additional insulation required (R-Value) Other specifications libor - concrete size on ground all
The applicant must construct the floor(s), walls, and cellinginor of the dwelling in accordance with the specifications listed in the table ontow.  Construction Additional insulation required (R-Value) Other specifications for concrete sist on ground nill
Construction Additional insulation required (R-Value) Other specifications for - concrete sish on ground oil
loor - concrete slab on ground nil
loor - concrete slab on ground nil
201 - 100 -
ceiling and roof - flat ceiling / pitched roof ceiling 4.5 (up), roof: foli/sarking gable end vents; medium (solar absorptance 0.475-0.70
Note Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
* In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Cor	mmitments				Show on DA plans	Show on CC/CDC plans & specs	Certific
Windows, glazed doo	ors and skyligh	nts					
			evices described in the table belo ons must be satisfied for each wir		~	V	~
The dwelling may have 1 sk	kylight (<0.7 square	metres) which is not	listed in the table.		~	~	~
Aluminium single cle     Aluminium double (a	and frame types, the ear sir) clear		window and glazed door: e performed by visual inspection.		~	~	* >
TimberluPVC/fibreglass     TimberluPVC/fibreglass	double (air) clear	Marine and Marine	-	State Date Division	oles allala	Our before	
- TimberluPVC/fibreglass		Maximum width (mm)	Туре	Shading Device (Dimer	rsion within	Overshadowing	
TimberiuPVC/fibreglass Window/glazed door no.	double (air) clear		Туре	Shading Device (Dimer	sion within	Overshadowing	
TimberuPVC/fibreglass Window/glazed door no. North facing	double (air) clear		Type aluminium, single, clear	Shading Device (Dimer 10%) eave 450 mm, 300 mm of window or glazed doo	bove head	Overshadowing not overshadowed	
	Maximum height (mm)	(mm)		eave 450 mm, 300 mm a	bove head above head		
Timber/uPVC/fibregiass Windowiglasset door no. North facing W1.10 W1.11	Maximum height (mm)	1210	aluminium, single, clear	eave 450 mm, 300 mm a of window or glazed doo eave 450 mm, 1100 mm	bove head above head	not overshadowed	
- TimberiuPVC/fibreglass Windowiglazed door no. North facing W1.10	Maximum height (mm)	1210	aluminium, single, clear	eave 450 mm, 300 mm a of window or glazed doo eave 450 mm, 1100 mm	bove head above head	not overshadowed	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following not water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 36 to 40 STCs or better.	~	~	V
Cooling system			
The applicant must install the following occling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating; EER > 4.0		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating; EER > 4.0		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER > 4.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER > 4.0		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:	T	T .	T
At least 1 Bathroom; individual fan, not ducted; Operation control: manual on / timer off		~	~
Kitcherc individual fan, not ducted; Operation control: manual on / timer off		~	~
Laundry: individual fan, not ducted; Operation control: manual on / timer off		~	~
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.			
at least 2 of the bedrooms / study, dedicated		~	V
at least 1 of the living / dining rooms; dedicated		~	~
the kitchen; dedicated			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certific
all bathrooms/toilets; dedicated		_	
the laundry; dedicated			
all hallways; dedicated		5	, i
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		_	-
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	_		-
Other	10.0	4	-
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		~	



REV	DATE	DESCRIPTION	
A	07.11.2022	ISSUED FOR DA	

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TRUCTURAL	<b>ENGINEERING</b>
ARCHITECT	URAL DESIGN

PROPOSED ATTACHED DUAL OCCUPANCY
WITH GRANNY FLATS & POOLS
38 VIRGINIUS ST, PADSTOW
LOT 19, DP 1528, SECTION C

BASIX REQUIREMENTS - DW1 GRANNY FLAT

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A17.03	A3
DESIGNED BY:	DATE:	
A.N.	07.11.2022	
DRAWN BY:	SCALE:	
A.N.	AS SHOWN	$ \setminus $

## **BASIX** Certificate

## Single Dwelling

Certificate number: 1347770S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if a is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 17 October 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project name	LOT 2- GRANNY FLAT-38 Virginius Street padatow		
Street address	38 Virginius Street Street Padslow 2211		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	deposited 1528		
Lot no.	19		
Section no.	C		
Project type	separate dwelling house - secondary dwelling		
No. of bedrooms	2		
Project score			
Water	<b>₩</b> 40	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	<b>√</b> 57	Target 50	

Project summary

Certificate Prepared by	
Name / Company Name. Nemco Design	
ABN (if applicable): 46166160505	

## Description of project

Project name	LOT 2- GRANNY FLAT-38 Virginius St padstow
Street address	38 Virginius Street Street Padstow 221
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 1528
Lot no.	19
Section no.	C
Project type	
Project type	separate dwelling house - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m²)	506
Roof area (m²)	70
Conditioned floor area (m2)	46.84
Unconditioned floor area (m2)	4.85
Total area of garden and lawn (m2)	100
Roof area (m2) of the existing dwelling	130
No. of bedrooms in the existing dwelling	5

_	Assessor details and the mar	NAME OF TAXABLE PARTY.		
treet.	Assessor number	n/a		
	Certificate number	n/a		
1	Climate zone	nia		
_	Area adjusted cooling load (MJ/m².year)	n/a		
_	Area adjusted heating load (MJ/m².year)	nia		
_	Ceiling fan in at least one bedroom	n/a		
	Ceiling fan in at least one living room or other conditioned area	nia		
	Project score	ii.		
-	Water	<b>✓</b> 40	Target 40	
	Thermal Comfort	✓ Pass	Target Pass	
	Energy	<b>√</b> 57	Target 50	

ndustry & Environment www.hastis.nee gov.au	Version: 3.6 / DARWINIA 3.20 0	Certificate No.: 13477705	Monday, 17 October 2022

Assessor number	nía	
Certificate number	n/a	
Climate zone	nia	
Area adjusted cooling load (MJ/lm².year)	n/a	
Area adjusted heating load (MJ/m².year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	<b>✓</b> 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	<b>√</b> 57	Target 50

Industry & Environment www.basis.nee.gov.au		Certificate No.: 13477705	

The applicant must connect the rainwater tank to:

Schedule of BASIX commitments

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

Reinvaster tank

The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory suthorities.

The applicant must configure the rainwater tank to collect rain number from at least 70 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dare).

at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.

The applicant must install beain taps with a minimum rating of 6 star in each bathroom in the development

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complete with.

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~ ~

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Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features					
The dwelling must not have more than 2 storeys.			~	~	~
The conditioned floor area of the dwelling must not	exceed 300 square metres.		~	~	~
The dwelling must not contain open mezzanine area	a exceeding 25 square metres.		~	~	~
The dwelling must not contain third level habitable a	ffic room.		V	~	~
Floor, walls and ceiling/roof					
The applicant must construct the floor(s), walls, and below.	ceiling/roof of the dwelling in accordance with the specifications	listed in the table	V	~	V
Construction	Additional insulation required (R-Value)	Other sp	ecifications		-
floor - concrete slab on ground	nit				
external wall - cavity brick	0.50 (or 1.17 including construction)				
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foli/sarking	gable end	f vents: mediu	ım (solar absorptance 0	475-0.703

nit	
0.50 (or 1.17 including construction)	
ceiling: 4.5 (up), roof: foli/sarking	gable end vents; medium (solar absorptance 0.475-0.70)
	0.50 (or 1.17 including construction)

Construction Additional insulation required (R-Value) Other specifications.  floor - concrete side on ground nil external wall - cavity brick 0.50 (or 1.17 including construction) gailing and roof - flat ceiting / pitched roof ceiting 4.5 (up), roof foll/sarking gailing end wents; medium (solar absorptance 0.475-0.70 Note Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.	Floor, walls and ceiling/roof						
floor - concrete side on ground  nil external walf - cavity brick  0.50 (or 1.17 including construction)  ceiling and roof - flat ceiling / pitched roof  ceiling 4.5 (up), roof, foll/sanking  gable end verts; medium (solar absorptance 0.475-0.70  Note  Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.	The applicant must construct the floor(s), walls, a below.	and ceiling/roof of the dwelling in accordance with the specifications in	listed in the table	~	~	~	
external wall - cavity brick  0.50 (or 1.17 including construction)  ceiling and roof - flat ceiling / pitched roof  ceiling 4.5 (up), roof foll/serving  gable end verits; medium (solar absorptance 0.475-0.70  Note  * Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.	Construction	Additional insulation required (R-Value)	Other spe	cifications			
ceiling and roof - flat ceiling / pitched roof ceiling: 4.5 (up), roof: foll/sarking gable end verts; medium (solar absorptance 0.475-0.70  Note - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.	floor - concrete slab on ground	nit					
Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.	external wall - cavity brick	0.50 (or 1.17 including construction)					
	ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	gable end	vents; medium	um (solar absorptance 0.475-0.70)		
				joining building	materials.		

Planning, Industry & Emironment	seven basis rare gay as	Version: 3:87 DAR	WINUA_3_20_0	Certificate No.: 13477705	Monday, 17 October 2022

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	~	~	~
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	~	~	~
The following requirements must also be satisfied in relation to each window and glazed door:	~	~	V
<ul> <li>For the following glass and frame types, the certifier check can be performed by visual inspection.</li> </ul>			-
- Aluminium single clear			
- Aluminium double (air) clear			
- TimberluPVC/fibreglass single clear			
TimberluPVC/fibregiass double (air) clear			

Windowiglazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W2.12	970	1810	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W2.13	970	1810	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
South facing	-	200			
W2.11	600	1600	aluminium, single, clear	eave 450 mm, 1100 mm above head of window or glazed door	not overshadowed
W2.10	600	1210	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
West facing					
SD2.4	2400	2410	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 36 to 40 STCs or better.	~	V	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating; EER > 4.0		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted; Operation control: manual on / timer off		~	~
Kitchen: individual fam, not ducted; Operation control: manual on / timer off		~	~
Laundry; individual fan, not ducted; Operation control: manual on / timer off		-	~
Artificial lighting			
The applicant must ensure that the "primary type of artificial Sighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diods (LED) samps:			
<ul> <li>at least 2 of the bedrooms / study; dedicated</li> </ul>			100
at least 1 of the living / dining rooms; dedicated		_	
		~	~
the kitchen; dedicated			1.0

	Show on DA plans	Show on CC/CDC plans & specs	Certific
all bathroomaltollets; dedicated		~	
the laundry; dedicated			
all hallways; dedicated			
Natural lighting	100	100	
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	
The applicant must install a window and/or skylight in 1 bathroom(s)/foilet(s) in the development for natural lighting.	~	~	
Other	- 10	de la	7
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		~	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		_	

Planning, Industry & Environment I were basis new gocas; Version 3.6 / DARWINIA, 3, 20, 0 Cartificate No. 13477705 Monday, 17 October 2022

Legend	and the state of the state of			
In these commitments, "applicant" means the person carrying				
Commitments identified with a win the "Show on DA plans development application is to be lodged for the proposed de		ccompanying the development ap	plication for the proposed development	(fa
Commitments identified with a w in the "Show on CC/CDC certificate / complying development certificate for the propor		m in the plans and specifications	accompanying the application for a con-	struction
Commitments identified with a w in the "Certifier check" co final) for the development may be issued.	lumn must be certified by a certifying au	thority as having been fulfilled, be	fore a final occupation certificate(either	interim or

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PROPOSED ATTACHED DUAL OCCUPANCY
WITH GRANNY FLATS & POOLS
38 VIRGINIUS ST, PADSTOW
LOT 19, DP 1528, SECTION C

BASIX REQUIREMENTS - DW2 GRANNY FLAT

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
22713	A17.04	A3
DESIGNED BY:	DATE:	
A.N.	07.11.2022	
DRAWN BY:	SCALE:	
A.N.	AS SHOWN	