

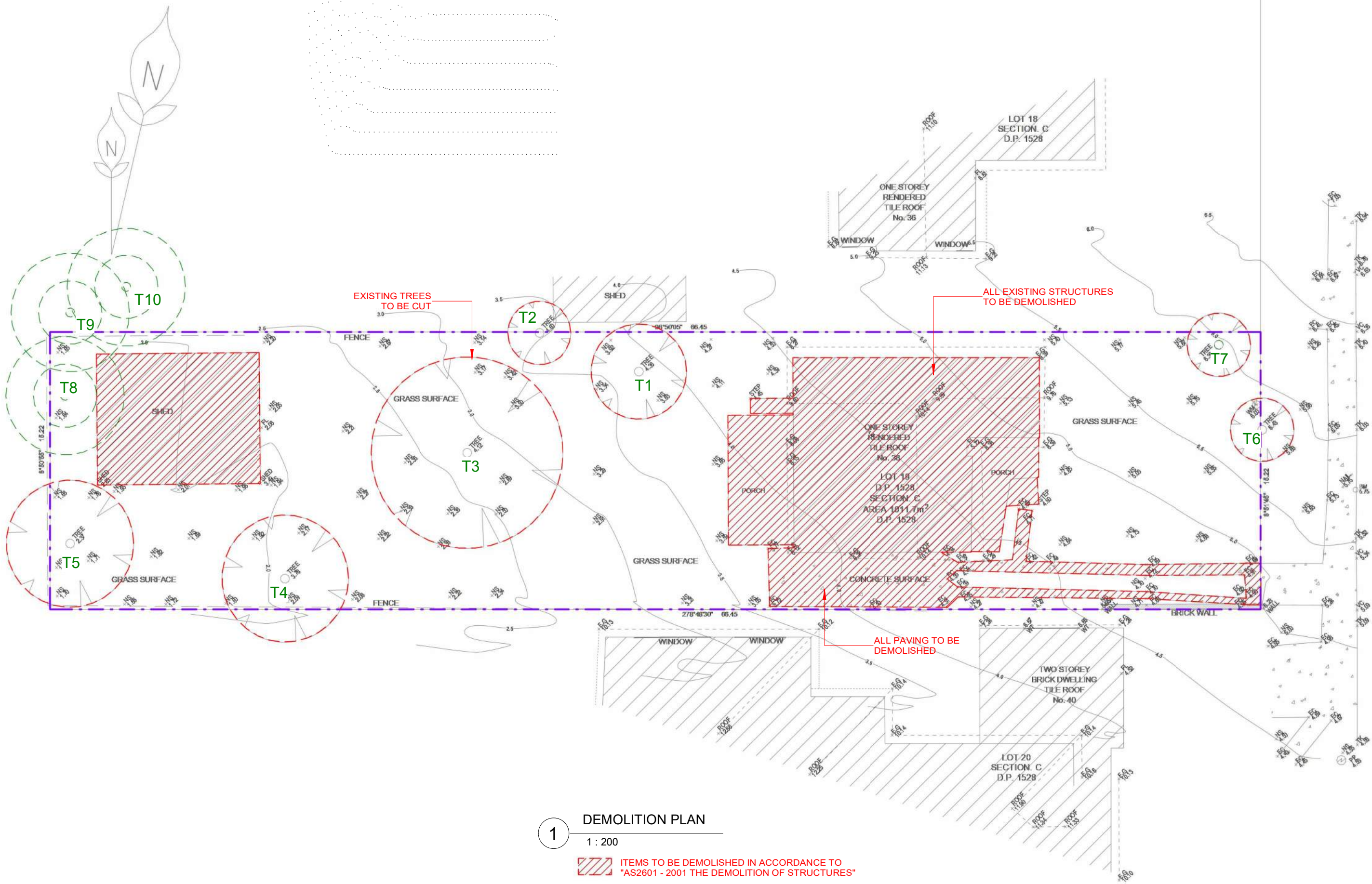
# PROPOSED ATTACHED DUAL OCCUPANCY WITH GRANNY FLATS & POOLS AT 38 VIRGINIUS STREET, PADSTOW

DRAWING LIST	
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A19	A4 NOTIFICATION PLANS - 1
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										DESIGNED BY: A.N.	DATE: 07.11.2022	
A	07.11.2022	ISSUED FOR DA	DK									
REV	DATE	DESCRIPTION	BY						COVER SHEET			
								DRAWN BY: A.N.	SCALE: AS SHOWN			





1

DEMOLITION PLAN

1 : 200

ITEMS TO BE DEMOLISHED IN ACCORDANCE TO "AS2601 - 2001 THE DEMOLITION OF STRUCTURES"

SITE BOUNDARY

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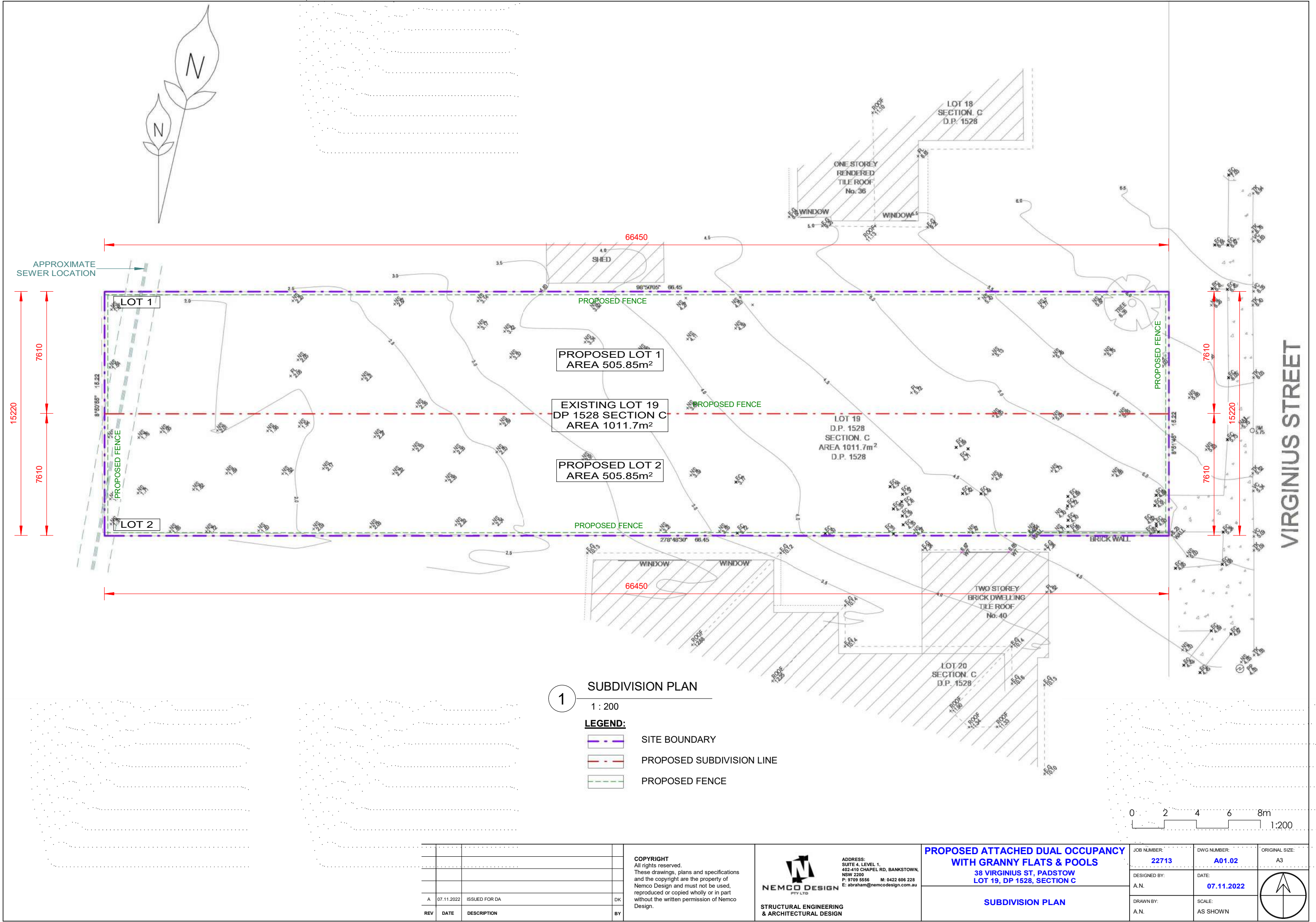
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WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

DEMOLITION PLAN

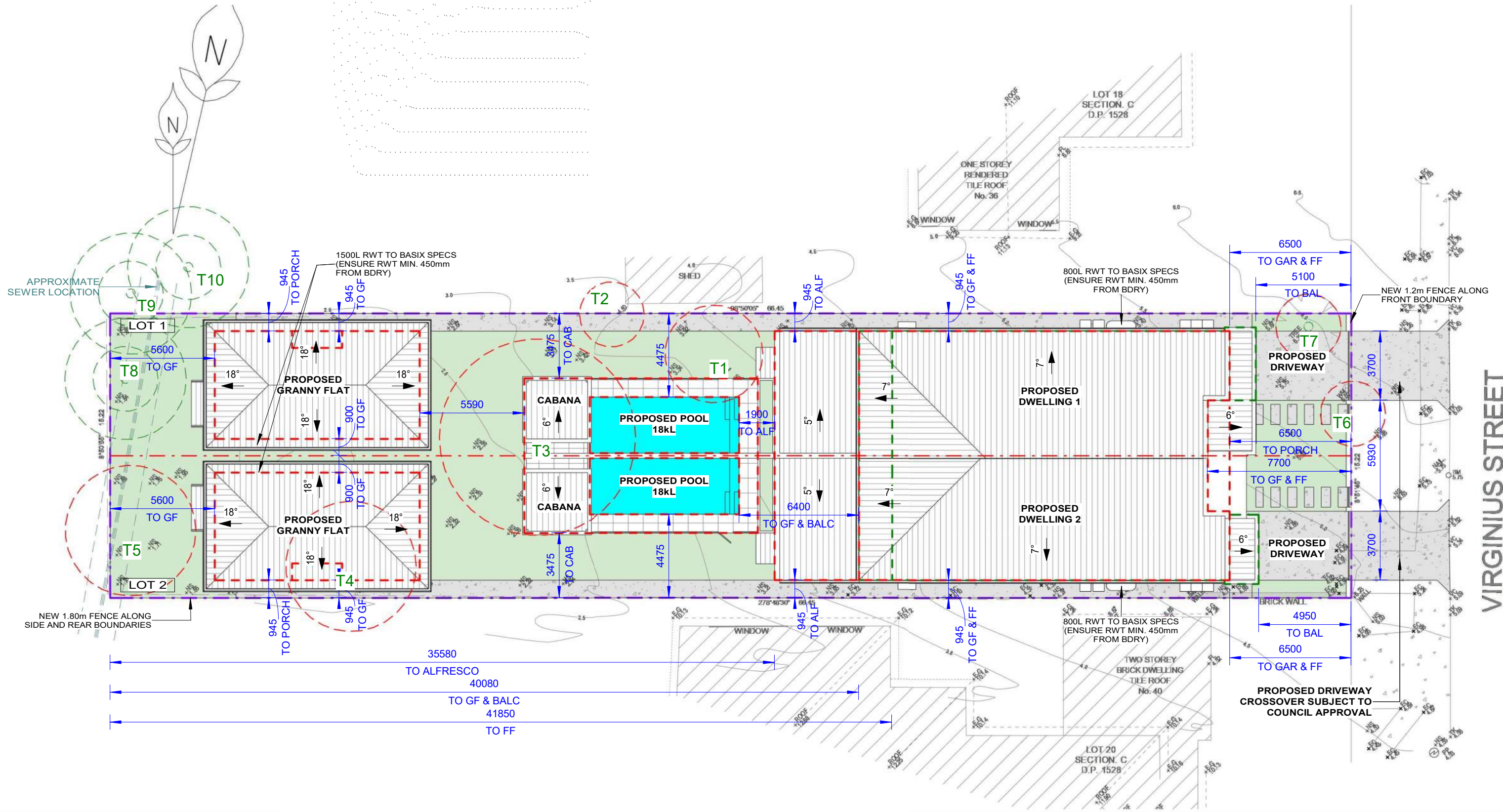
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DESIGNED BY: A.N.	DATE: 07.11.2022	
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VIRGINIUS STREET









1

SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

1 : 200

LEGEND:

SITE BOUNDARY

PROPOSED GROUND FLOOR OUTLINE

PROPOSED FIRST FLOOR OUTLINE

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WITH GRANNY FLATS & POOLS  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

SITE PLAN & ROOF PLAN, SITE ANALYSIS  
PLAN

JOB NUMBER:  
22713

DESIGNED BY:  
A.N.

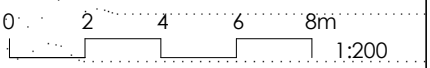
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DWG NUMBER:  
A01.03

DATE:  
07.11.2022

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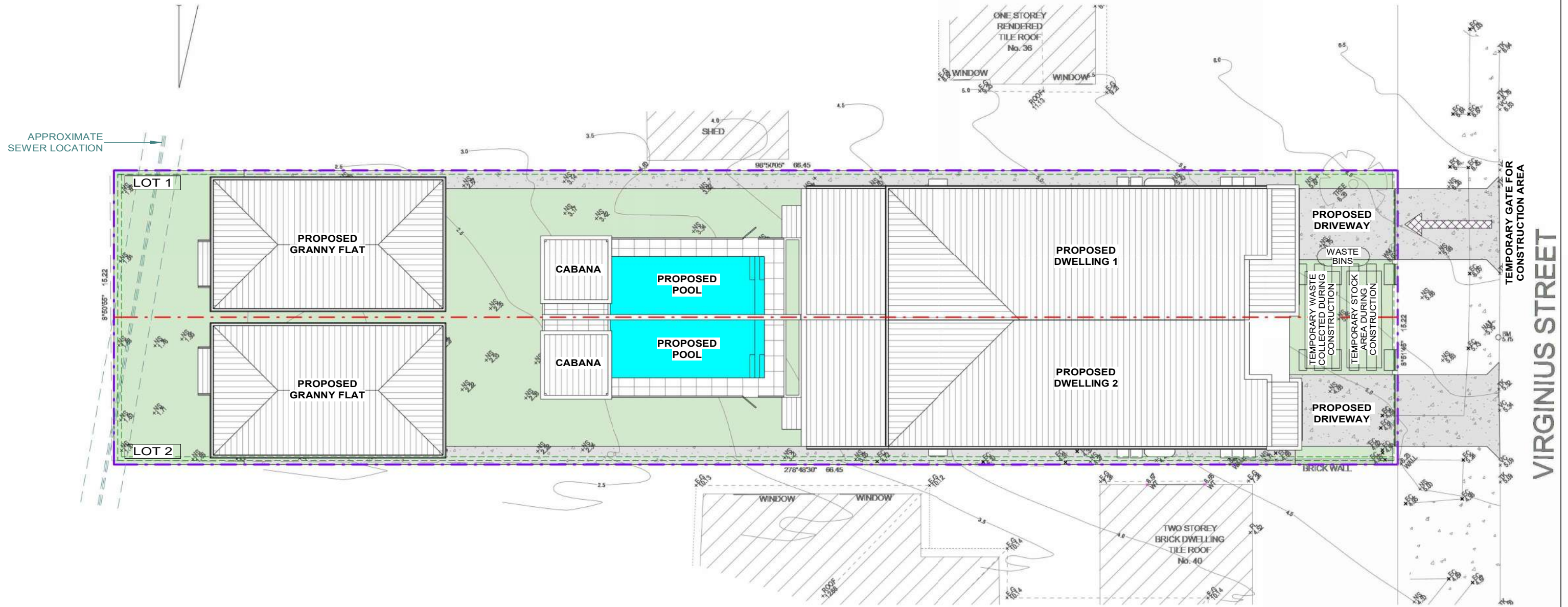
ORIGINAL SIZE:  
A3



VIRGINIUS STREET

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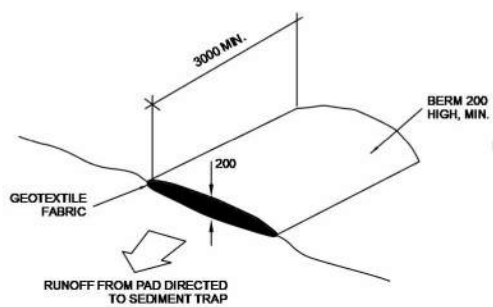




1 WASTE MANAGEMENT PLAN & SEDIMENT & EROSION CONTROL PLAN  
1 : 200

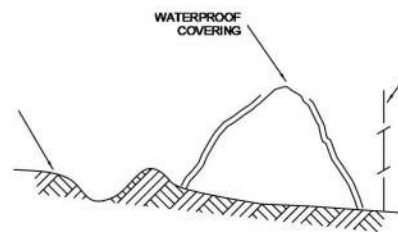
LEGEND:

- SITE BOUNDARY
- SEDIMENT CONTROL FENCE
- TEMPORARY FENCE



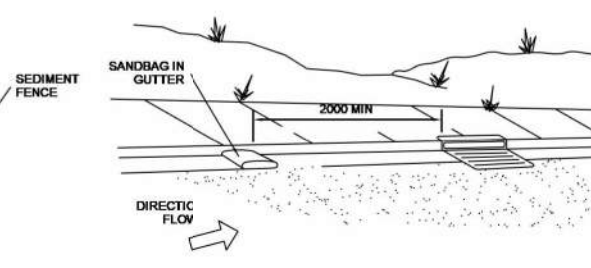
VEHICLE ACCESS TO SITE

NTS  
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



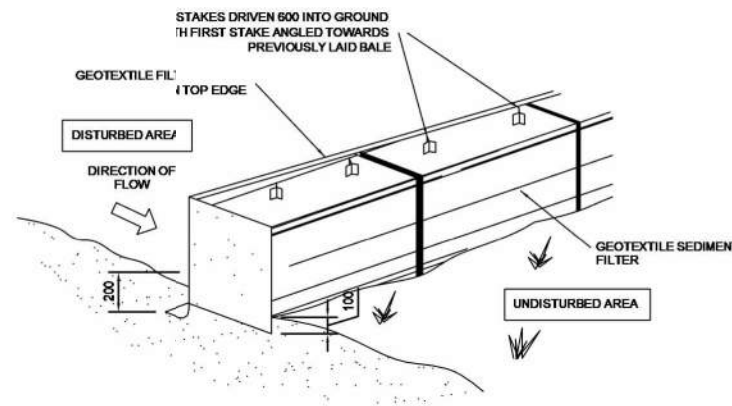
BUILDING MATERIAL STOCKPILES

NTS  
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION. THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



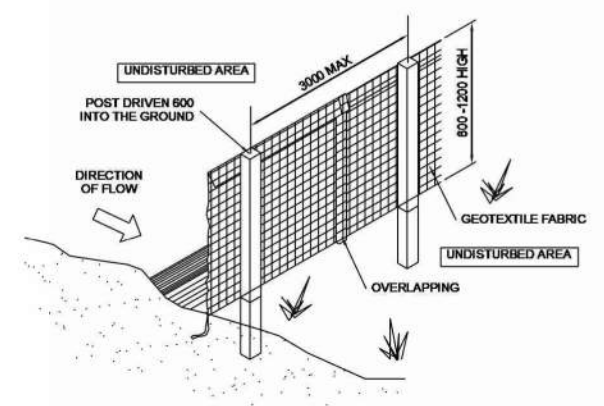
SANDBAG KERB SEDIMENT TRAP

NTS  
CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING 'BE NEEDED IN THE STREET GUTTER.



STRAW BALE DETAIL

NTS



SEDIMENT AND EROSION FENCE DETAIL

NTS

0 2 4 6 8m  
1:200

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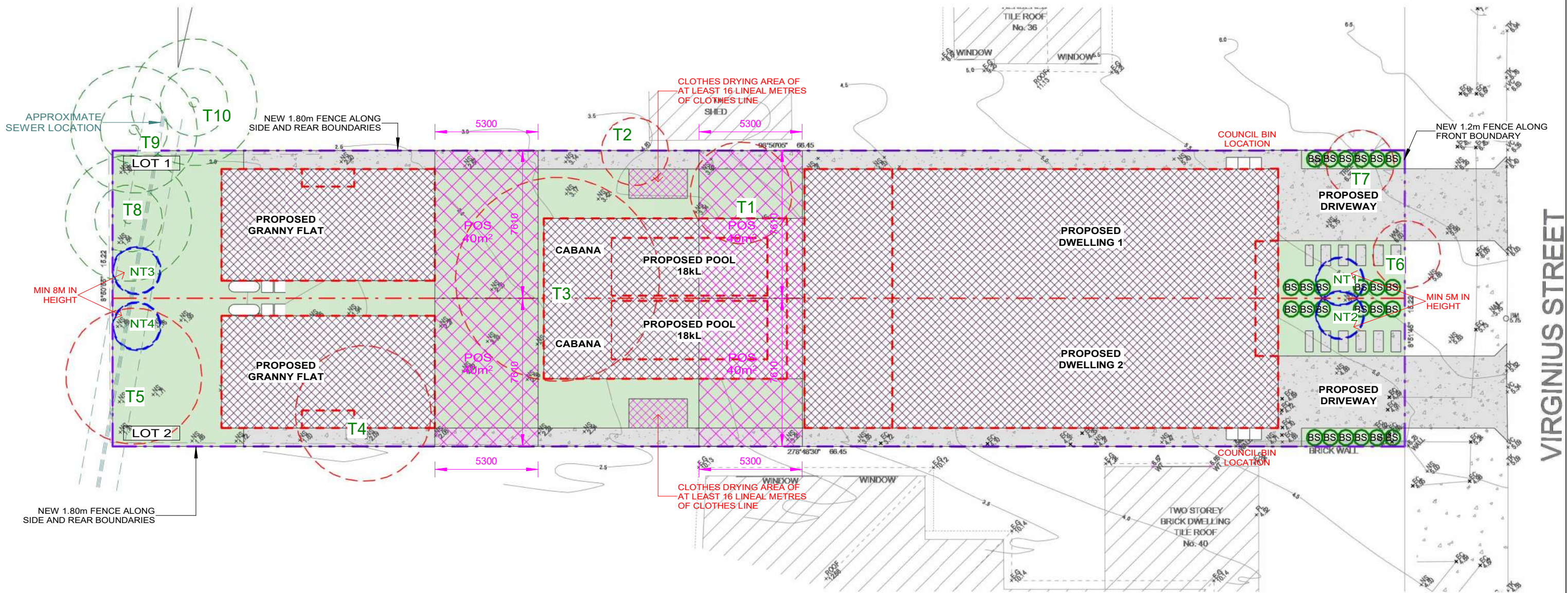
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**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C  
**WASTE MANAGEMENT PLAN & SEDIMENT  
& EROSION CONTROL PLAN**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A01.04</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
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2. Minimum soil standards for plant sizes are provided in accordance with the Table below.

Tree Size	Height	Spread	Min Soil Area	Min soil depth
Large trees	>12m	>8m	10 x 10m	1200mm
Medium trees	8-12m	4-8m	6 x 6m	1000mm
Small trees	5-8m	<4m	3.5 x 3.5m	800mm
Shrubs	-	-	n/a	500-600mm
Groundcover	-	-	n/a	300-450mm
Turf	-	-	n/a	200mm

1

LANDSCAPING PLAN

1 : 200

LEGEND:

SITE BOUNDARY

PROPOSED DWELLING

PROPOSED DRIVEWAY & CONCRETE AREAS

PROPOSED LANDSCAPING

POS 80.0m<sup>2</sup>

BS

PROPOSED SHRUB  
*Bursaria Spinosa (Blacktorn)* 1m

NT1-2

PROPOSED 125L TREE  
(INDIGENOUS CANOPY)  
WITH MIN. MATURE HEIGHT OF 5m

TREE TO REMAIN

TREE TO BE CUT

PROPOSED TREE

02

04

06

08

10

12

14

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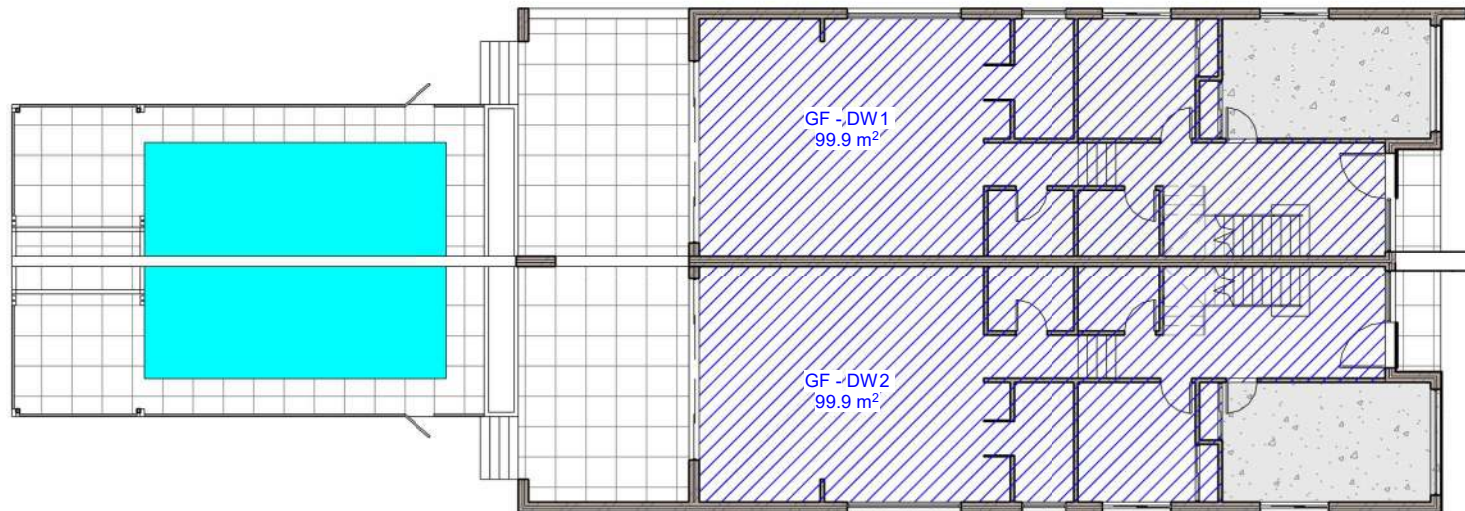
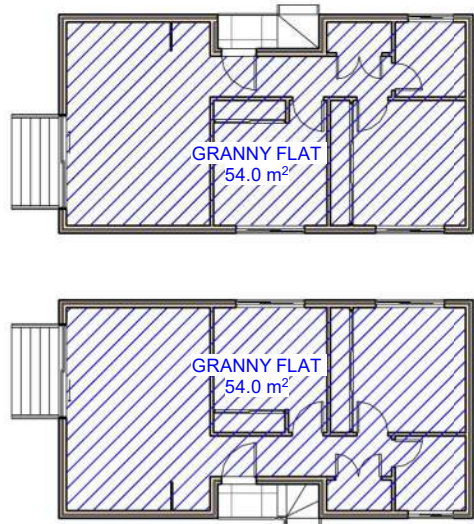
96

98

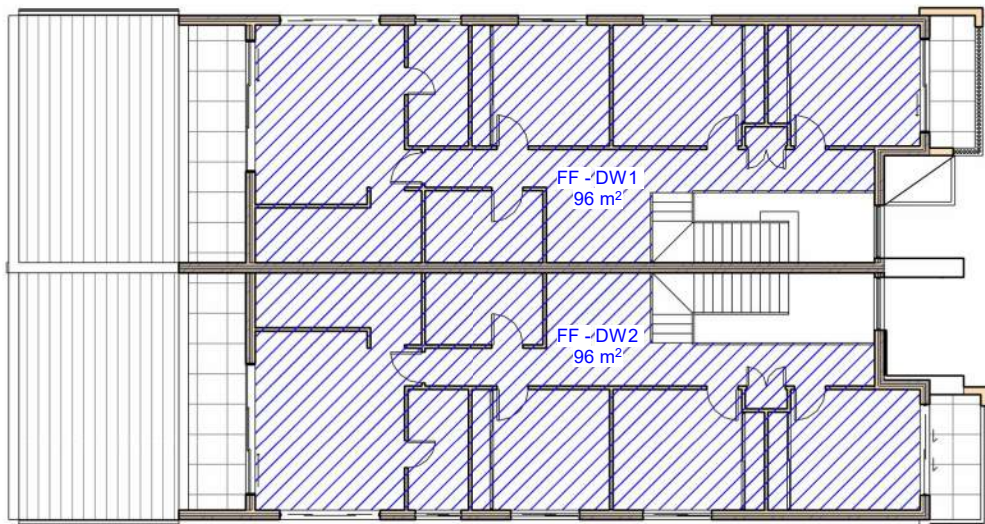
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1:200

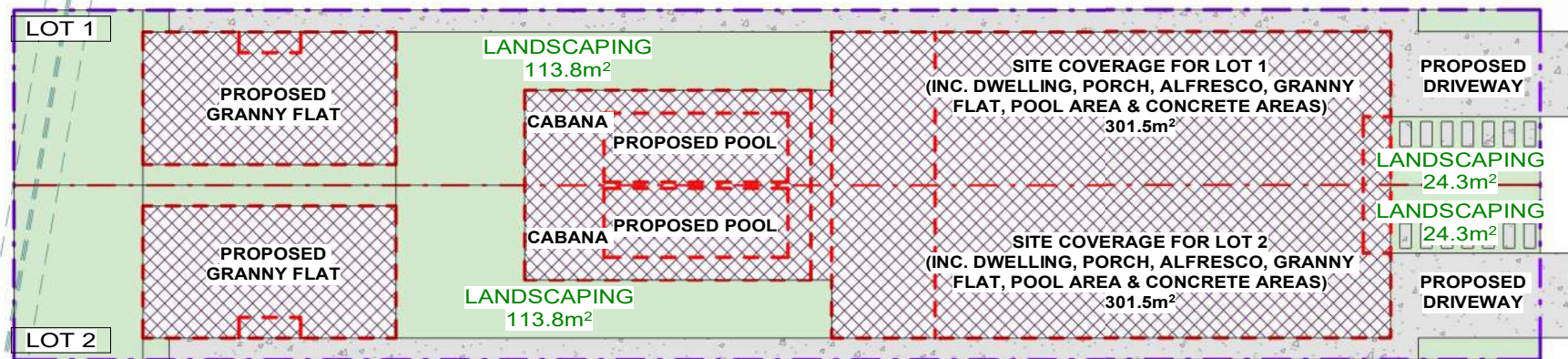




1 FSR - Ground Floor  
1 : 200



2 FSR - First Floor  
1 : 200



3 LANDSCAPING  
1 : 300

SITE CALCULATIONS FOR LOT 1	
FLOOR AREA CALCULATIONS	
SITE AREA:	505.85m <sup>2</sup>
AREA OF THE PROPOSED GROUND FLOOR:	99.9m <sup>2</sup>
AREA OF THE PROPOSED FIRST FLOOR:	96m <sup>2</sup>
AREA OF THE PROPOSED GRANNY FLAT:	54m <sup>2</sup>
MAX. TOTAL FLOOR AREA	253m <sup>2</sup>
50% OF SITE AREA = 0.5 x 505.85m <sup>2</sup> =	
PROPOSED TOTAL FLOOR AREA:	249.9m <sup>2</sup> < 253m <sup>2</sup>
SITE COVERAGE CALCULATIONS	
PROPOSED SITE COVERAGE:	301.5m <sup>2</sup> = 59.6%
(INC. DWELLING, PORCH, ALFRESCO & CONCRETE AREAS)	
LANDSCAPING CALCULATIONS	
MIN. LANDSC. FORWARD OF BUILDING LINE:	22.3m <sup>2</sup>
45% OF THE FORWARD AREA = 0.45 x 49.5m <sup>2</sup>	
PROPOSED LANDSCAPING AT FRONT:	24.3m <sup>2</sup> > 22.3m <sup>2</sup>
PROPOSED LANDSCAPING AT REAR:	113.8m <sup>2</sup>
PROPOSED TOTAL LANDSCAPED AREA:	138.1m <sup>2</sup> (27%)

SITE CALCULATIONS FOR LOT 2	
FLOOR AREA CALCULATIONS	
SITE AREA:	505.85m <sup>2</sup>
AREA OF THE PROPOSED GROUND FLOOR:	99.9m <sup>2</sup>
AREA OF THE PROPOSED FIRST FLOOR:	96m <sup>2</sup>
AREA OF THE PROPOSED GRANNY FLAT:	54m <sup>2</sup>
MAX. TOTAL FLOOR AREA	253m <sup>2</sup>
50% OF SITE AREA = 0.5 x 505.85m <sup>2</sup> =	
PROPOSED TOTAL FLOOR AREA:	249.9m <sup>2</sup> < 253m <sup>2</sup>
SITE COVERAGE CALCULATIONS	
PROPOSED SITE COVERAGE:	301.5m <sup>2</sup> = 59.6%
(INC. DWELLING, PORCH, ALFRESCO & CONCRETE AREAS)	
LANDSCAPING CALCULATIONS	
MIN. LANDSC. FORWARD OF BUILDING LINE:	22.3m <sup>2</sup>
45% OF THE FORWARD AREA = 0.45 x 49.5m <sup>2</sup>	
PROPOSED LANDSCAPING AT FRONT:	24.3m <sup>2</sup> > 22.3m <sup>2</sup>
PROPOSED LANDSCAPING AT REAR:	113.8m <sup>2</sup>
PROPOSED TOTAL LANDSCAPED AREA:	138.1m <sup>2</sup> (27%)

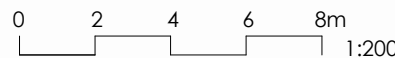
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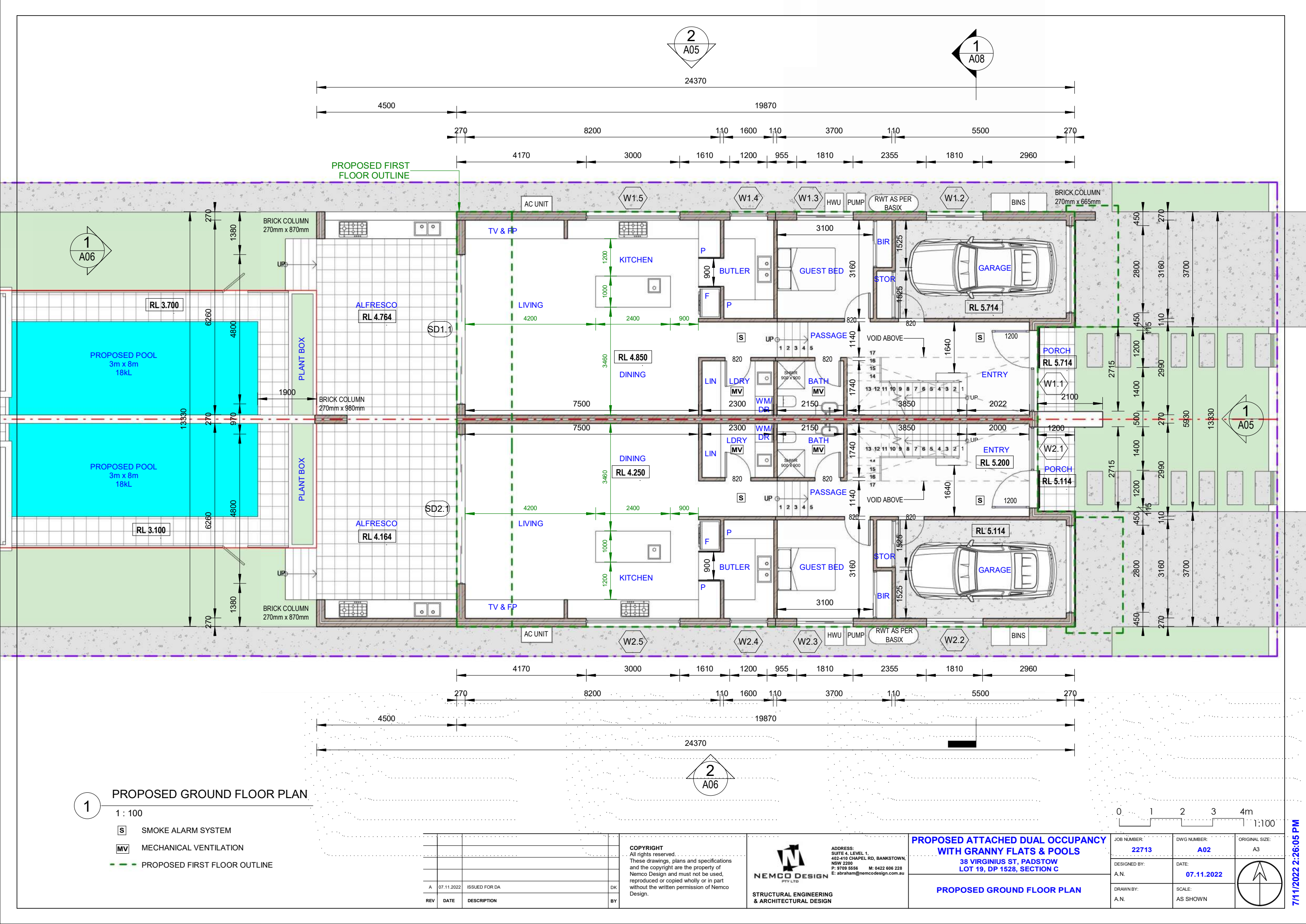
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WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C  
**SITE CALCULATIONS**

JOB NUMBER: 22713	DWG NUMBER: A01.06	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.11.2022	
DRAWN BY: A.N.	SCALE: AS SHOWN	







PROPOSED GROUND FLOOR PLAN

1 : 100

- [S] SMOKE ALARM SYSTEM
- [MV] MECHANICAL VENTILATION
- - - PROPOSED FIRST FLOOR OUTLINE

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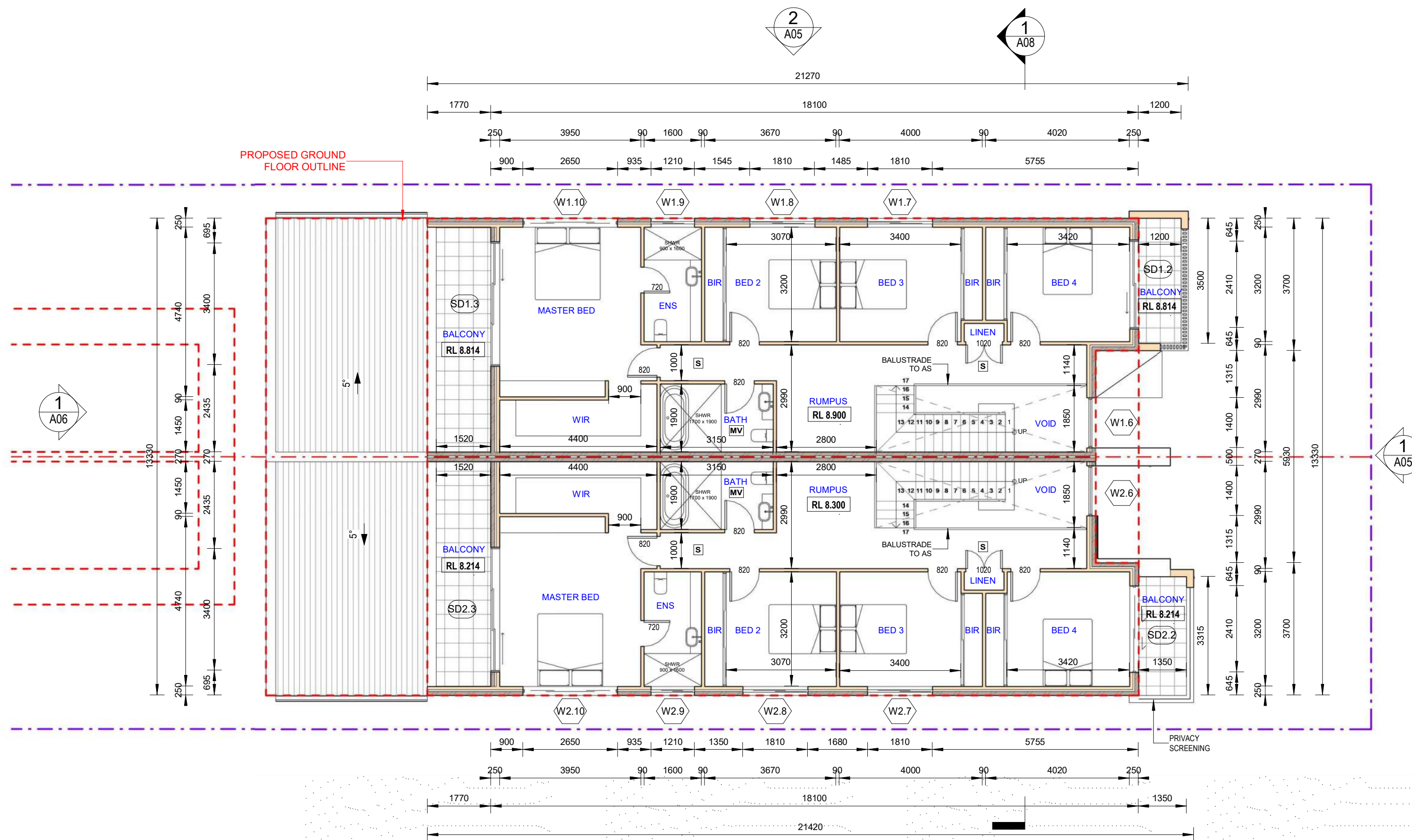
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WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

**PROPOSED GROUND FLOOR PLAN**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A02</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
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1 PROPOSED FIRST FLOOR PLAN

1: 100

- [S] SMOKE ALARM SYSTEM
- [MV] MECHANICAL VENTILATION
- - - PROPOSED GROUND FLOOR OUTLINE

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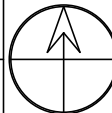
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WITH GRANNY FLATS & POOLS**

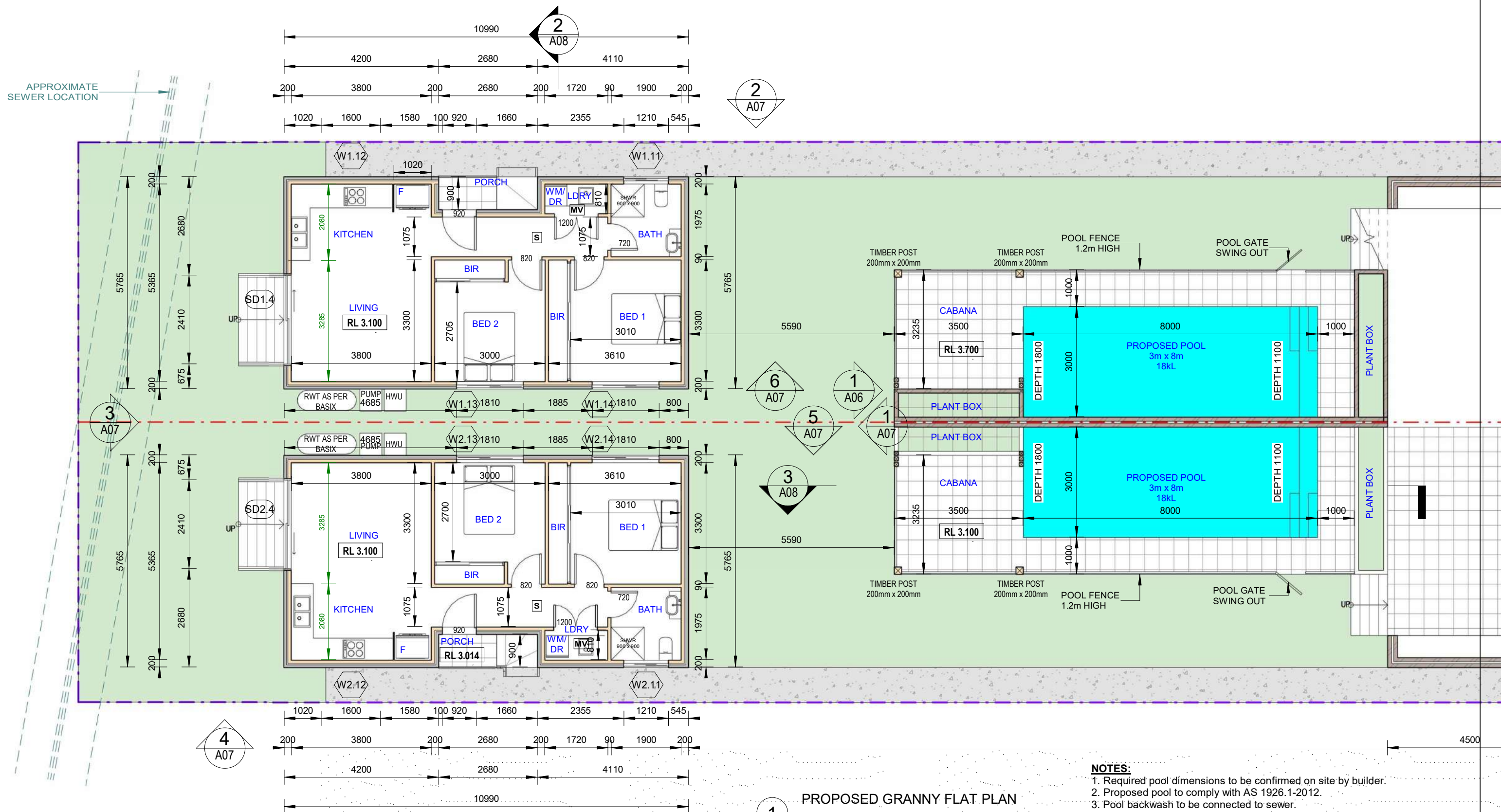
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LOT 19, DP 1528, SECTION C

**PROPOSED FIRST FLOOR PLAN**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A03</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 PROPOSED GRANNY FLAT PLAN

1 : 100

- [S] SMOKE ALARM SYSTEM  
[MV] MECHANICAL VENTILATION

NOTES:

1. Required pool dimensions to be confirmed on site by builder.
2. Proposed pool to comply with AS 1926.1-2012.
3. Pool backwash to be connected to sewer.
4. Pool gates with child resistant barrier.
5. Pool gates to open away from pool area.
6. Pool fencing to be non-combustible.
7. Boundary fence (acting as pool barrier) to be min. 1.80m high from the level of pool decking. No footholds on the barrier.

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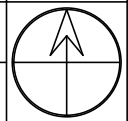
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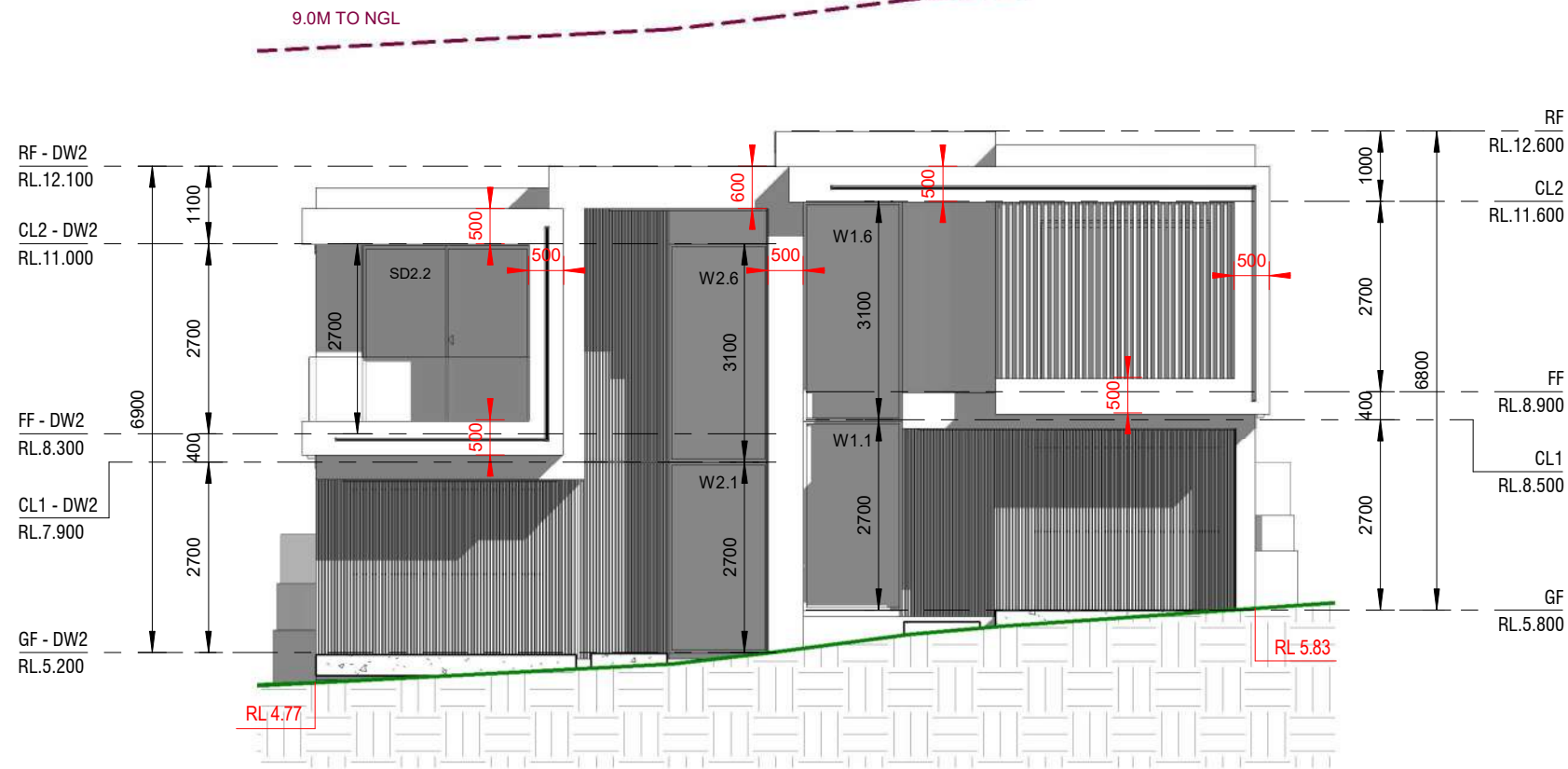
PROPOSED GRANNY FLAT PLAN

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DESIGNED BY: A.N.	DATE: 07.11.2022	
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<b>ELEVATIONS - PART 1</b>		DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
		DRAWN BY: A.N.	SCALE: AS SHOWN	

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1  
WEST ELEVATION  
1 : 100



2  
SOUTH ELEVATION  
1 : 100

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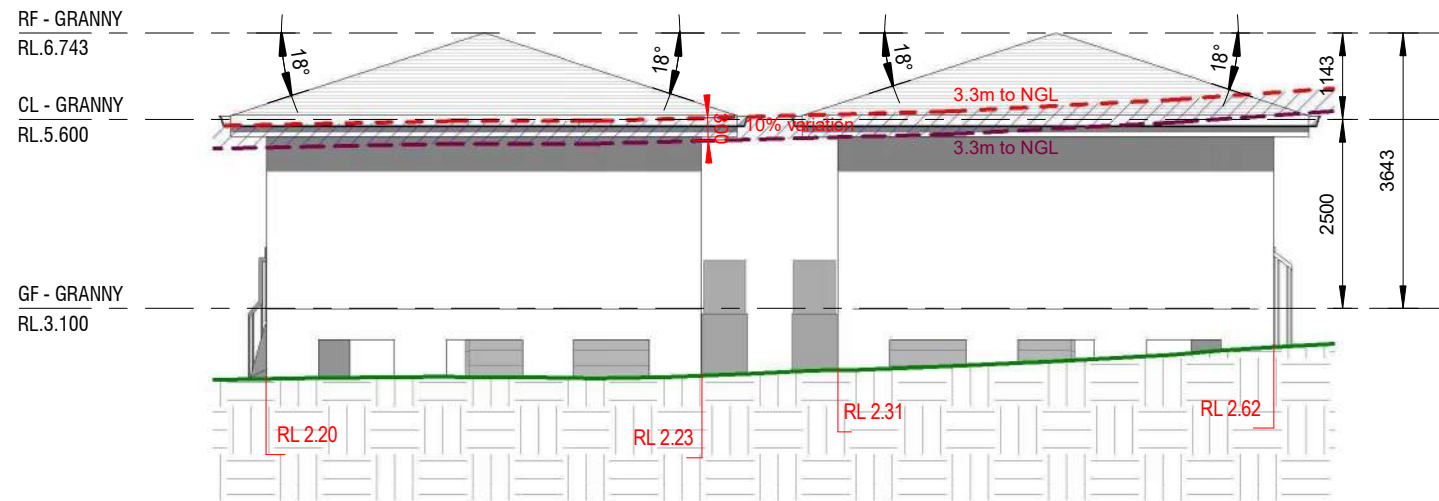
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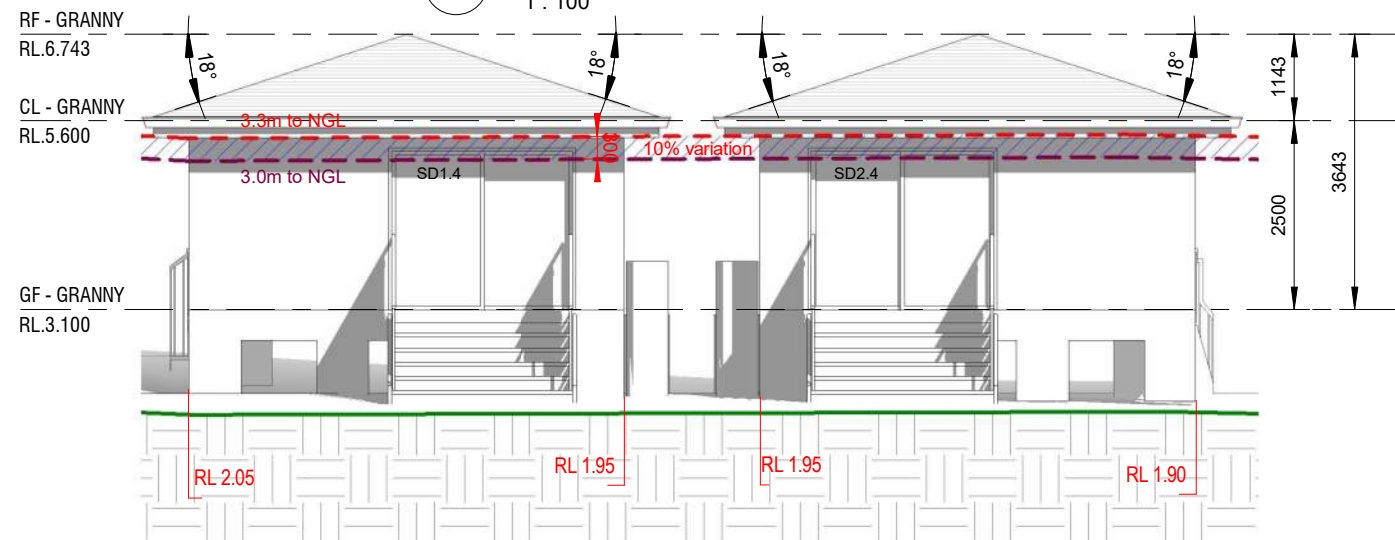
**ELEVATIONS - PART 2**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A06</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

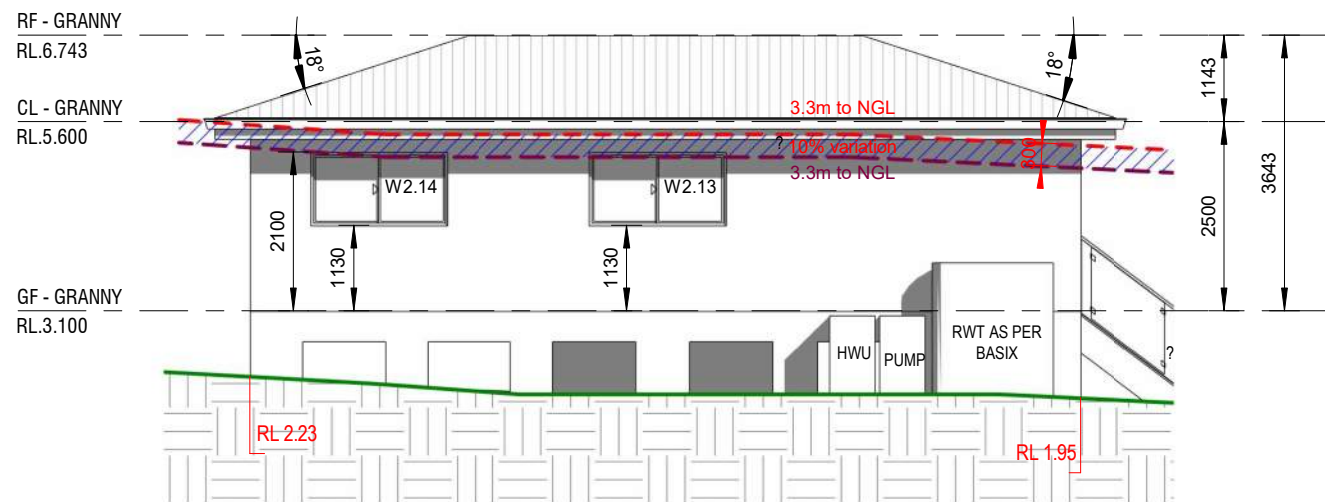




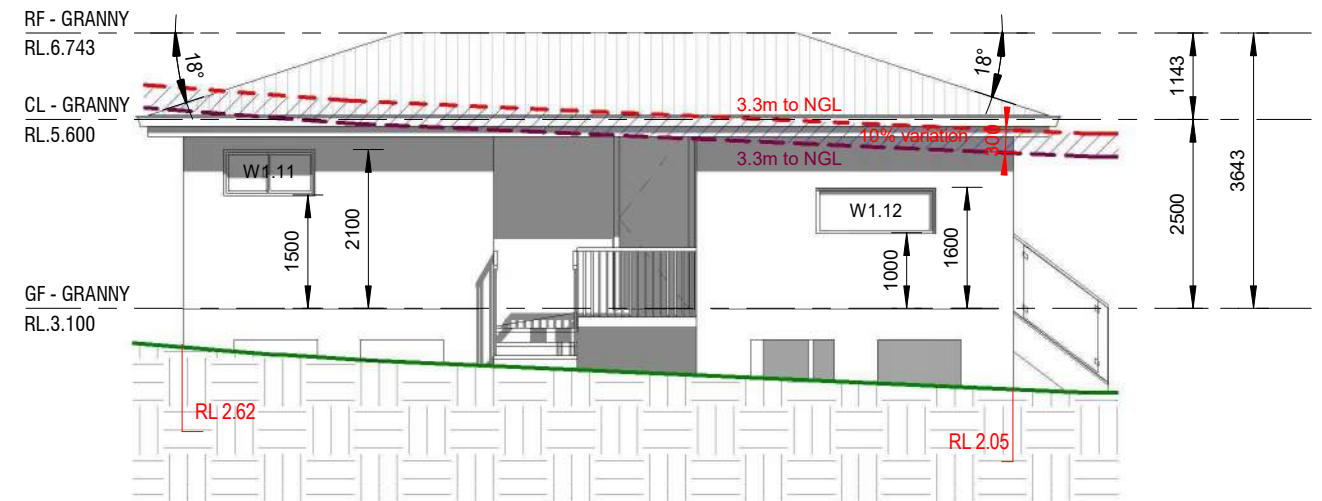
1 EAST ELEVATION - GRANNY FLAT  
1 : 100



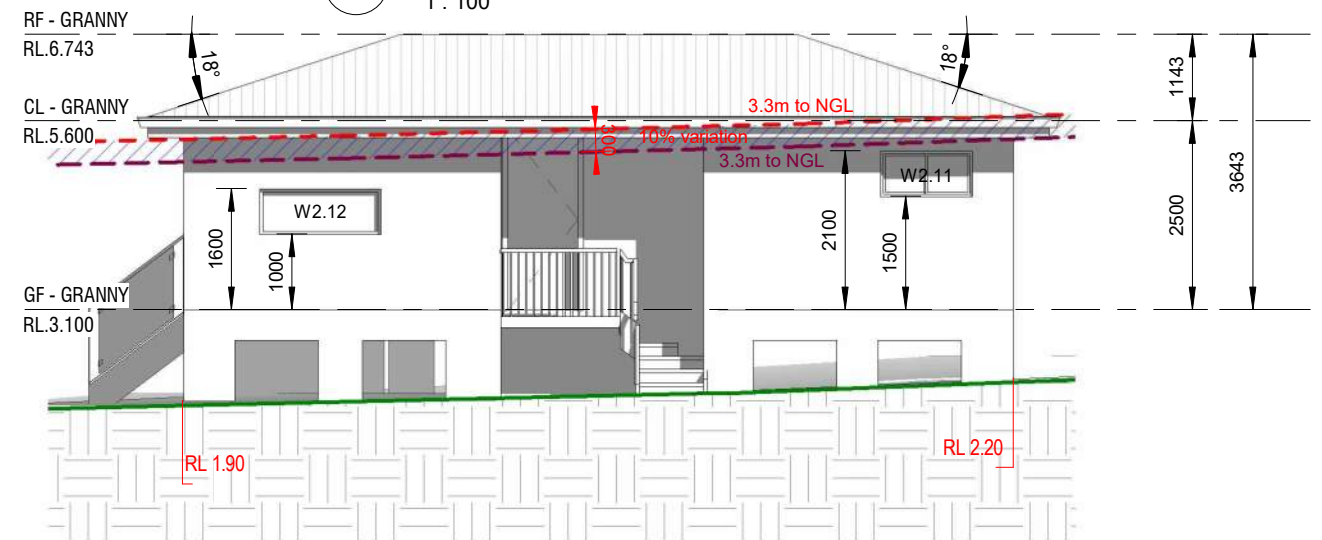
3 WEST ELEVATION - GRANNY FLAT  
1 : 100



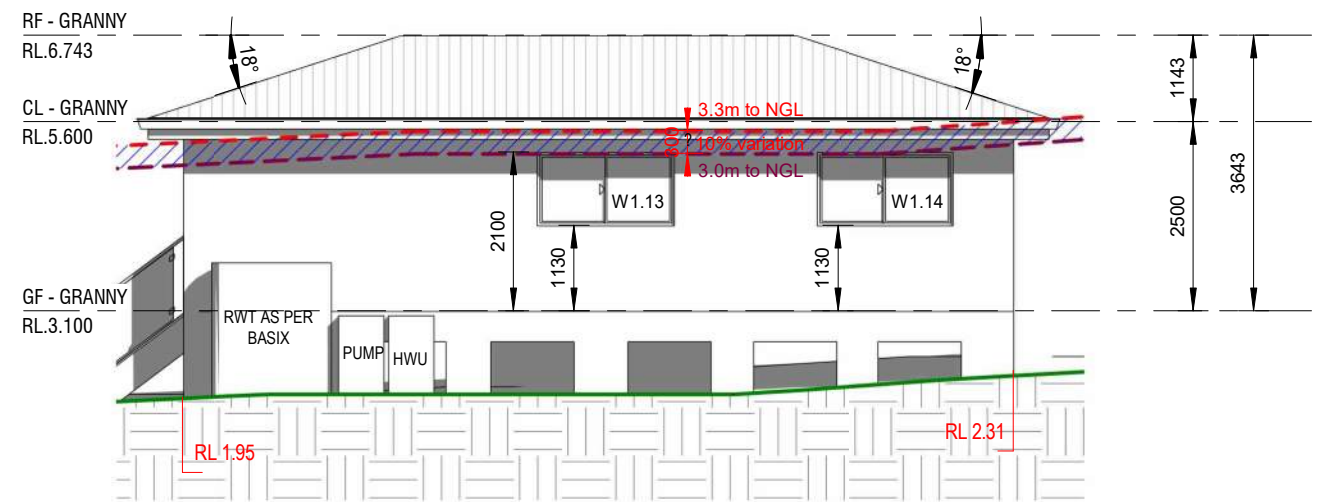
5 NORTH ELEVATION - GRANNY FLAT 2  
1 : 100



2 NORTH ELEVATION - GRANNY FLAT 1  
1 : 100



4 SOUTH ELEVATION - GRANNY FLAT 2  
1 : 100



6 SOUTH ELEVATION - GRANNY FLAT 1  
1 : 100

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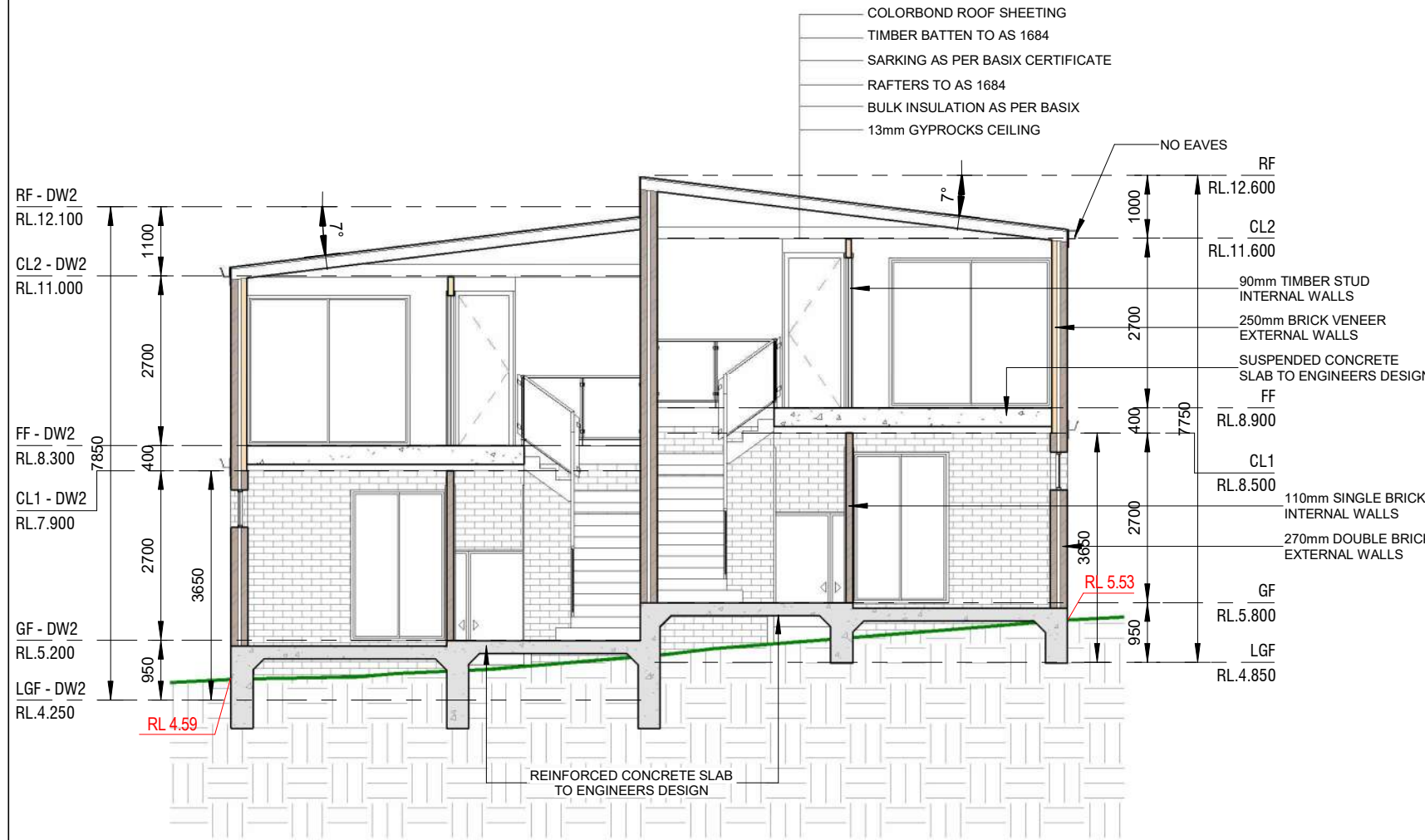
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E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C  
**ELEVATIONS - PART 3**

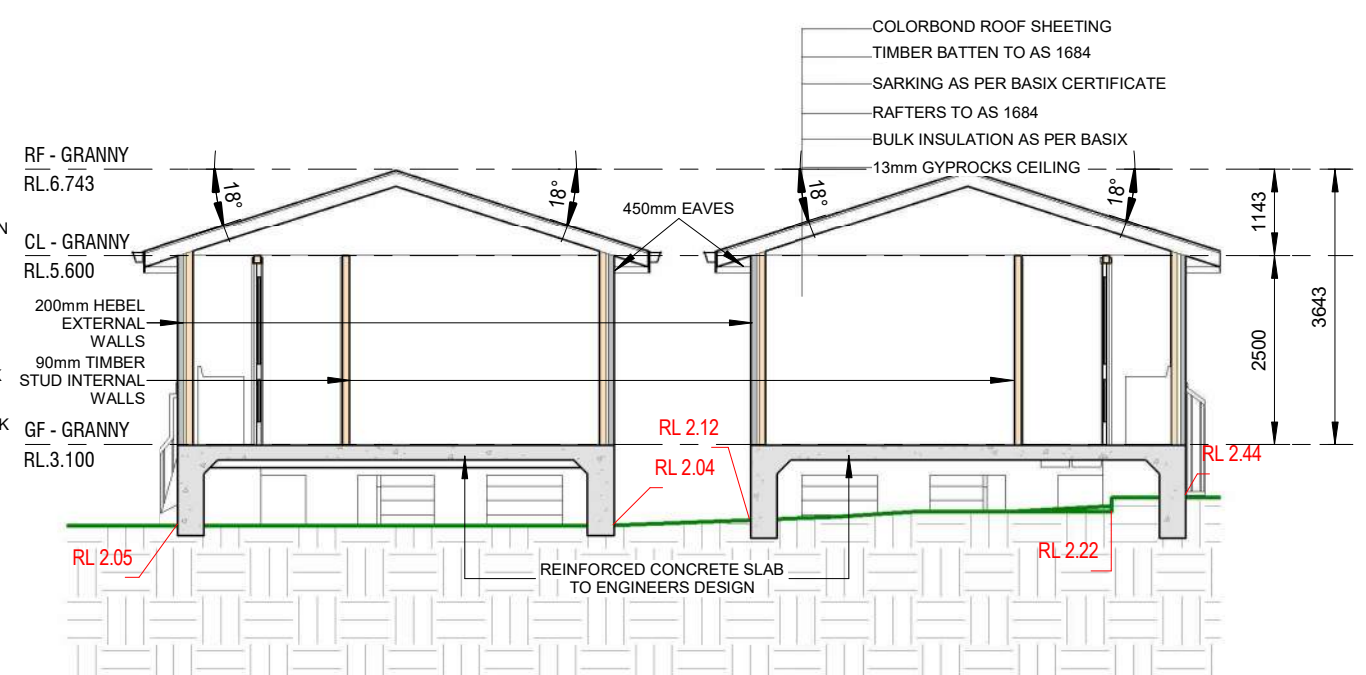
JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A07</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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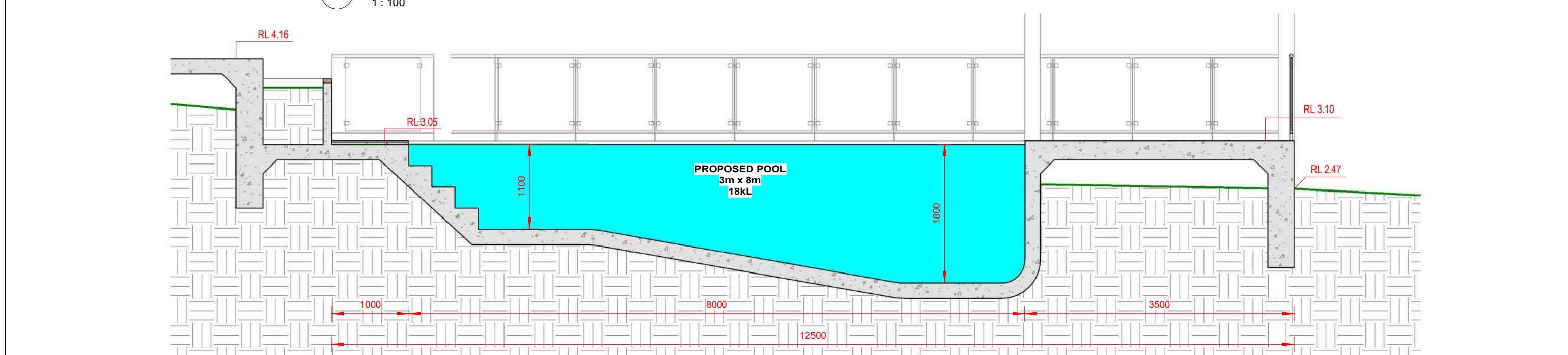




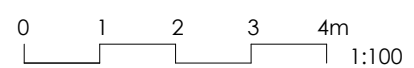
1 SECTION 1  
1 : 100



2 SECTION 2  
1 : 100



3 POOL SECTION  
1 : 50



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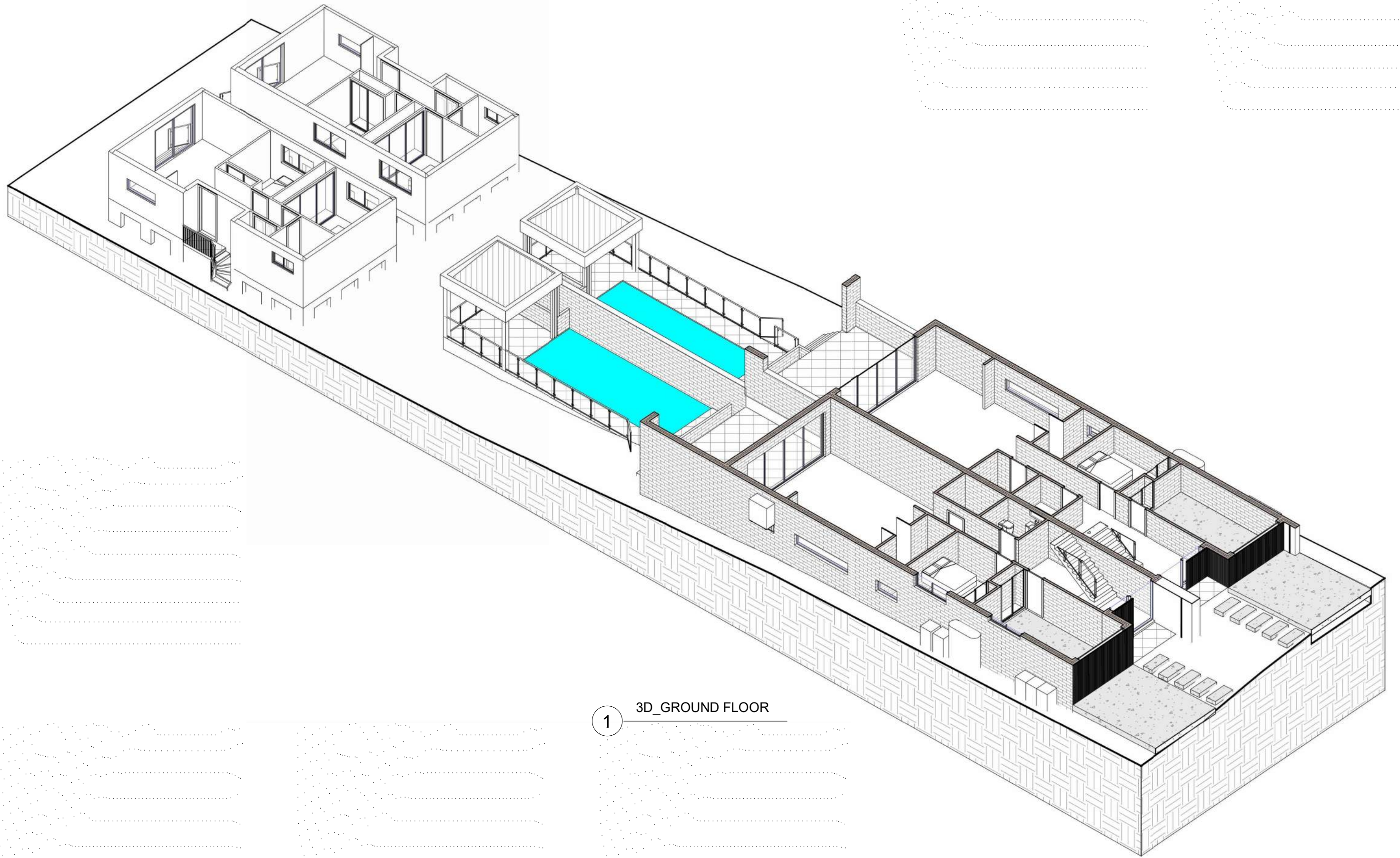
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WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

**SECTION 1, 2 & POOL SECTION**

JOB NUMBER: 22713	DWG NUMBER: A08	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.11.2022	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 3D\_GROUND FLOOR

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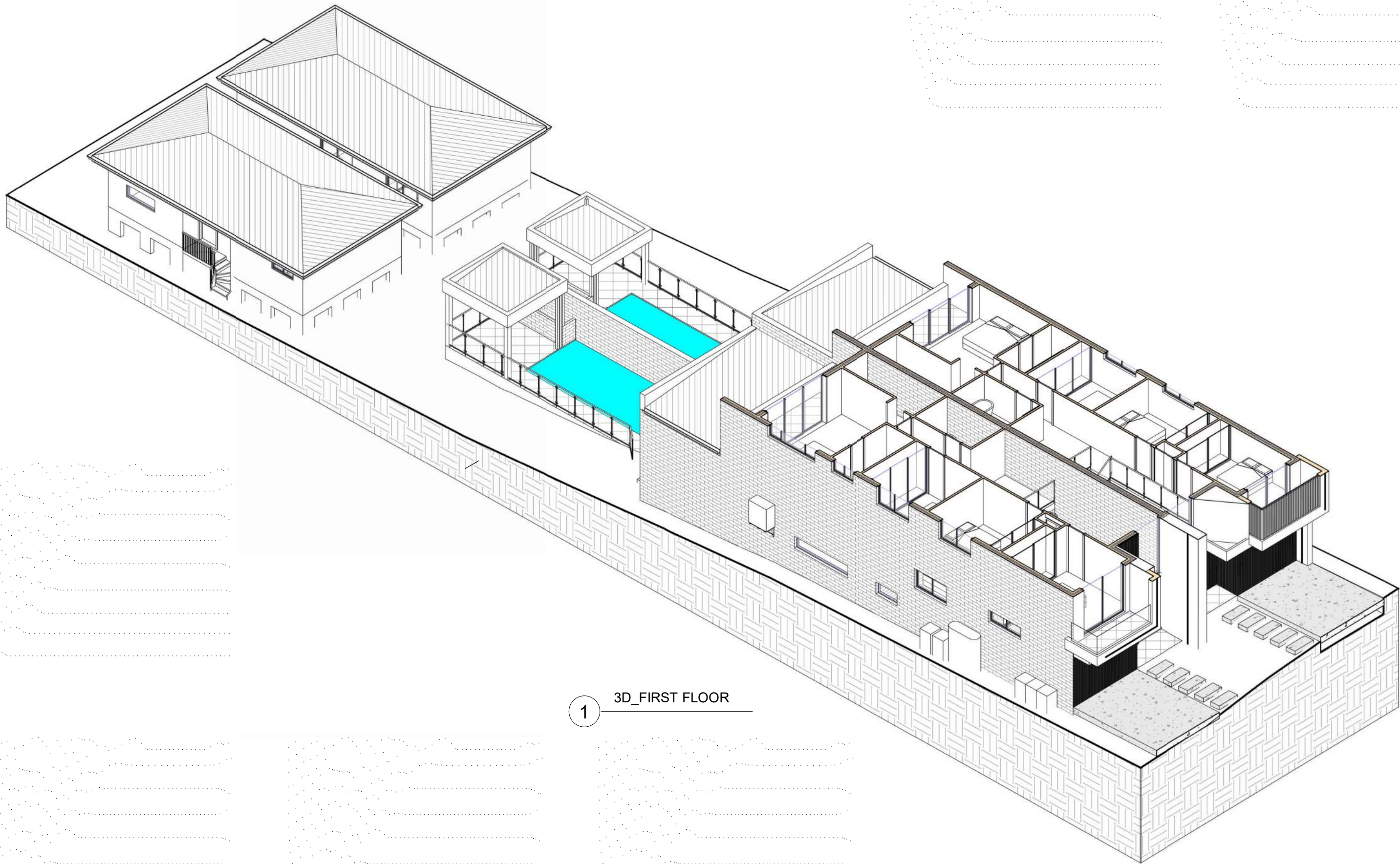
**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**

**38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C**

**3D\_GROUND FLOOR**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A09</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	





1 3D\_FIRST FLOOR

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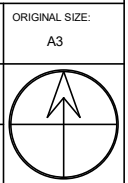
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WITH GRANNY FLATS & POOLS**

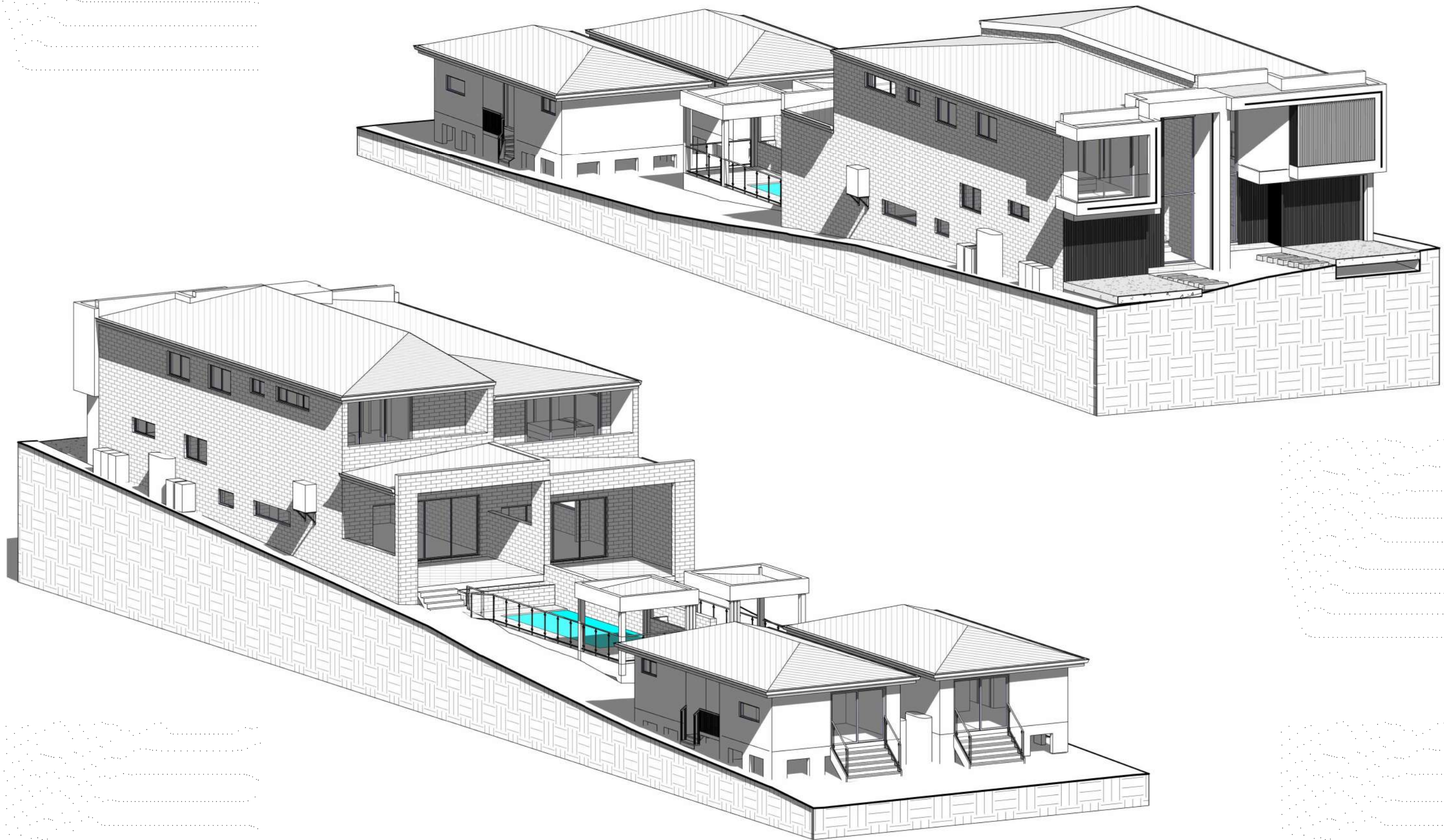
**38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C**

**3D\_FIRST FLOOR**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A10</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	







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**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

3D\_MODEL

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A11</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
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**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
**38 VIRGINIUS ST, PADSTOW**  
**LOT 19, DP 1528, SECTION C**

**3D\_MODEL**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A12</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	



WINDOW SCHEDULE - DW1				
Mark	Height	Width	Area	Level
W1.1	2700	1400	3.78 m²	GF
W1.2	600	1810	1.09 m²	GF
W1.3	970	1810	1.76 m²	GF
W1.4	600	1200	0.72 m²	LGF
W1.5	600	3000	1.80 m²	LGF
W1.6	3100	1400	4.34 m²	FF
W1.7	970	1810	1.76 m²	FF
W1.8	970	1810	1.76 m²	FF
W1.9	600	1210	0.73 m²	FF
W1.10	600	2650	1.59 m²	FF
W1.11	600	1210	0.73 m²	GF - GRANNY
W1.12	600	1600	0.96 m²	GF - GRANNY
W1.13	970	1810	1.76 m²	GF - GRANNY
W1.14	970	1810	1.76 m²	GF - GRANNY
Grand total: 14			24.51 m²	

WINDOW SCHEDULE - DW2				
Mark	Height	Width	Area	Level
W2.1	2700	1400	3.78 m²	GF - DW2
W2.2	600	1810	1.09 m²	GF - DW2
W2.3	970	1810	1.76 m²	GF - DW2
W2.4	600	1200	0.72 m²	LGF - DW2
W2.5	600	3000	1.80 m²	LGF - DW2
W2.6	3100	1400	4.34 m²	FF - DW2
W2.7	970	1810	1.76 m²	FF - DW2
W2.8	970	1810	1.76 m²	FF - DW2
W2.9	600	1210	0.73 m²	FF - DW2
W2.10	600	2650	1.59 m²	FF - DW2
W2.11	600	1210	0.73 m²	GF - GRANNY
W2.12	600	1600	0.96 m²	GF - GRANNY
W2.13	970	1810	1.76 m²	GF - GRANNY
W2.14	970	1810	1.76 m²	GF - GRANNY
Grand total: 14			24.51 m²	

GLASS DOOR SCHEDULE - DW1				
Mark	Height	Width	Area	Level
SD1.1	2400	4800	11.52 m²	LGF
SD1.2	2400	2410	5.78 m²	FF
SD1.3	2400	3400	8.16 m²	FF
SD1.4	2100	2410	5.06 m²	GF - GRANNY
Grand total: 4			30.53 m²	

GLASS DOOR SCHEDULE - DW2				
Mark	Height	Width	Area	Level
SD2.1	2400	4800	11.52 m²	LGF - DW2
SD2.2	2700	2410	6.51 m²	FF - DW2
SD2.3	2400	3400	8.16 m²	FF - DW2
SD2.4	2100	2410	5.06 m²	GF - GRANNY
Grand total: 4			31.25 m²	

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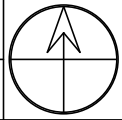
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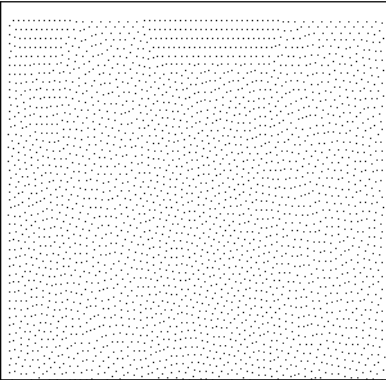
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WITH GRANNY FLATS & POOLS**

**38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C**

**WINDOWS & DOOR SCHEDULE**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A13</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	





01: WHITE RENDER



02: MONUMENT



03: CONCRETE FINISH



04: WOOD FINISH



05: ALUMINIUM WINDOWS & DOORS



06: GLASS BALUSTRADE



07: COLORBOND ROOF



08: FASCIA & GUTTER

1 SCHEDULE OF FINISHES

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**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**

**38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C**

**SCHEDULE OF FINISHES**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A14</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	



No. 40



No. 38

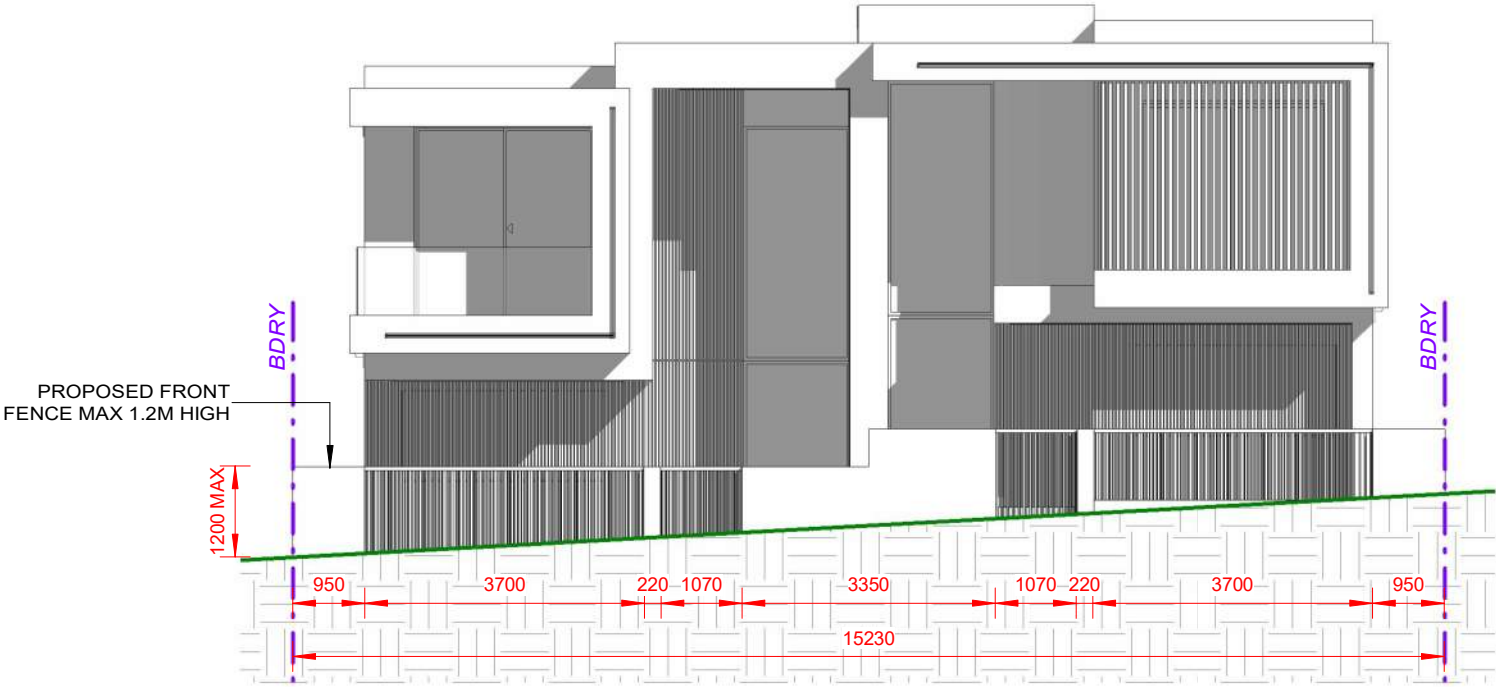


No. 36



1 STREETScape VIEW

VIRGINIUS STREET



2 FRONT FENCE ELEVATION  
1 : 100

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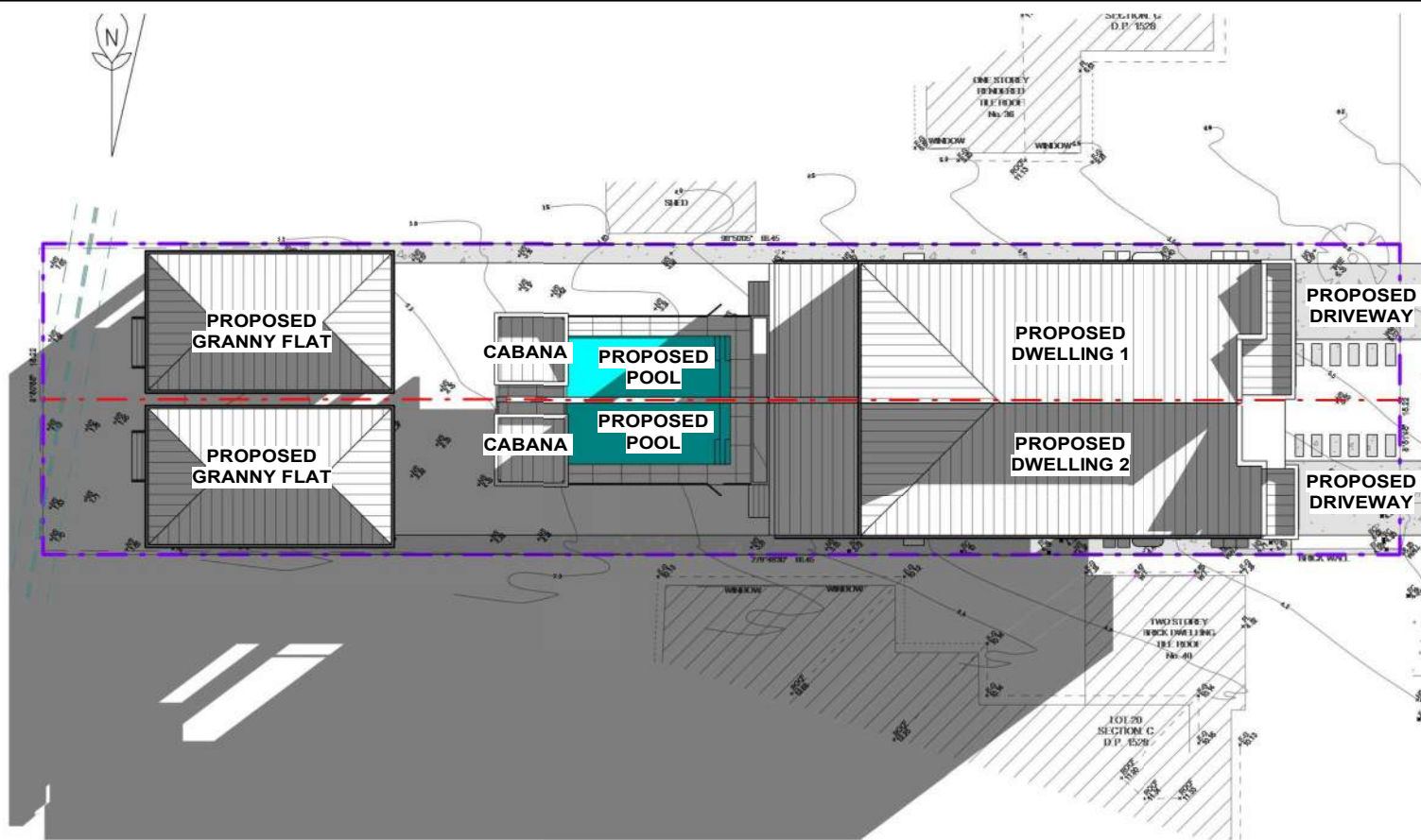
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E: abraham@nemcodesign.com.au

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38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

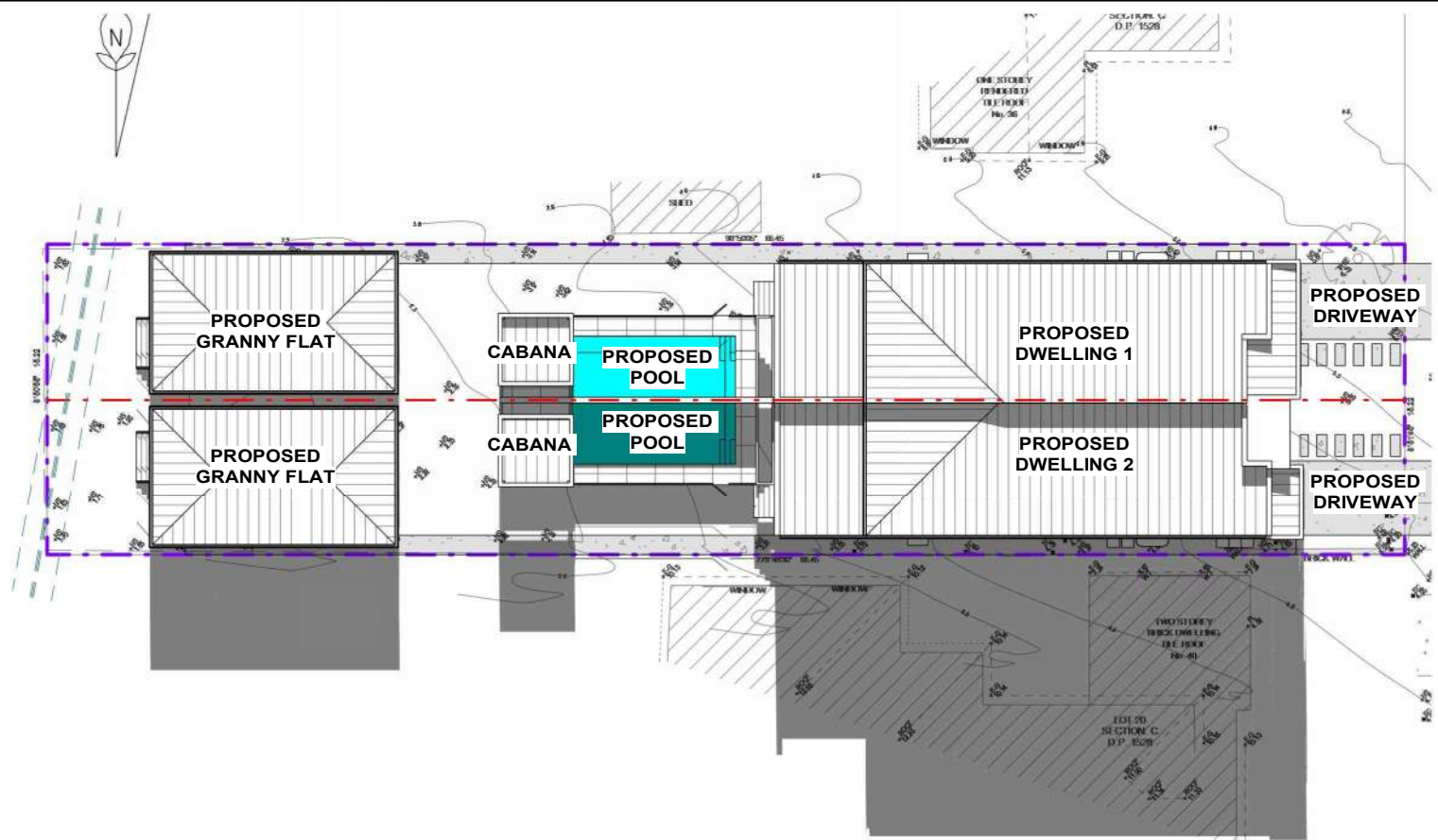
**STREETSCAPE VIEW & FRONT FENCE  
ELEVATION**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A15</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

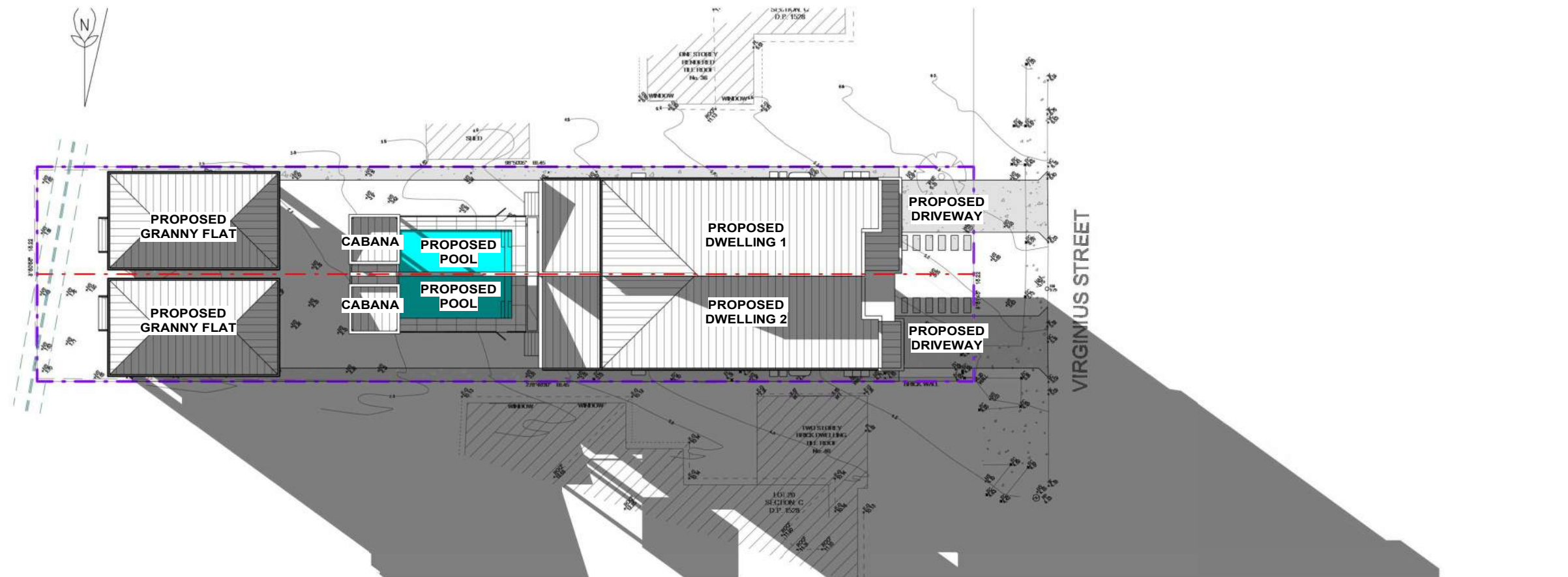




1 SHADOW DIAGRAM - 21ST JUN AT 8AM  
1 : 350



2 SHADOW DIAGRAM - 21ST JUN AT 12PM  
1 : 350



3 SHADOW DIAGRAM - 21ST JUN AT 4PM  
1 : 350

0 2 4 6 8m  
1:200

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LOT 19, DP 1528, SECTION C

**SHADOW DIAGRAM - 21ST JUN - PART 1**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A16.01</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 3 HRS OF SUNLIGHT TO LIVING - 21ST JUN 1PM



2 3 HRS OF SUNLIGHT TO LIVING - 21ST JUN 2PM



3 3 HRS OF SUNLIGHT TO LIVING - 21ST JUN 3PM



4 3 HRS OF SUNLIGHT TO LIVING - 21ST JUN 4PM

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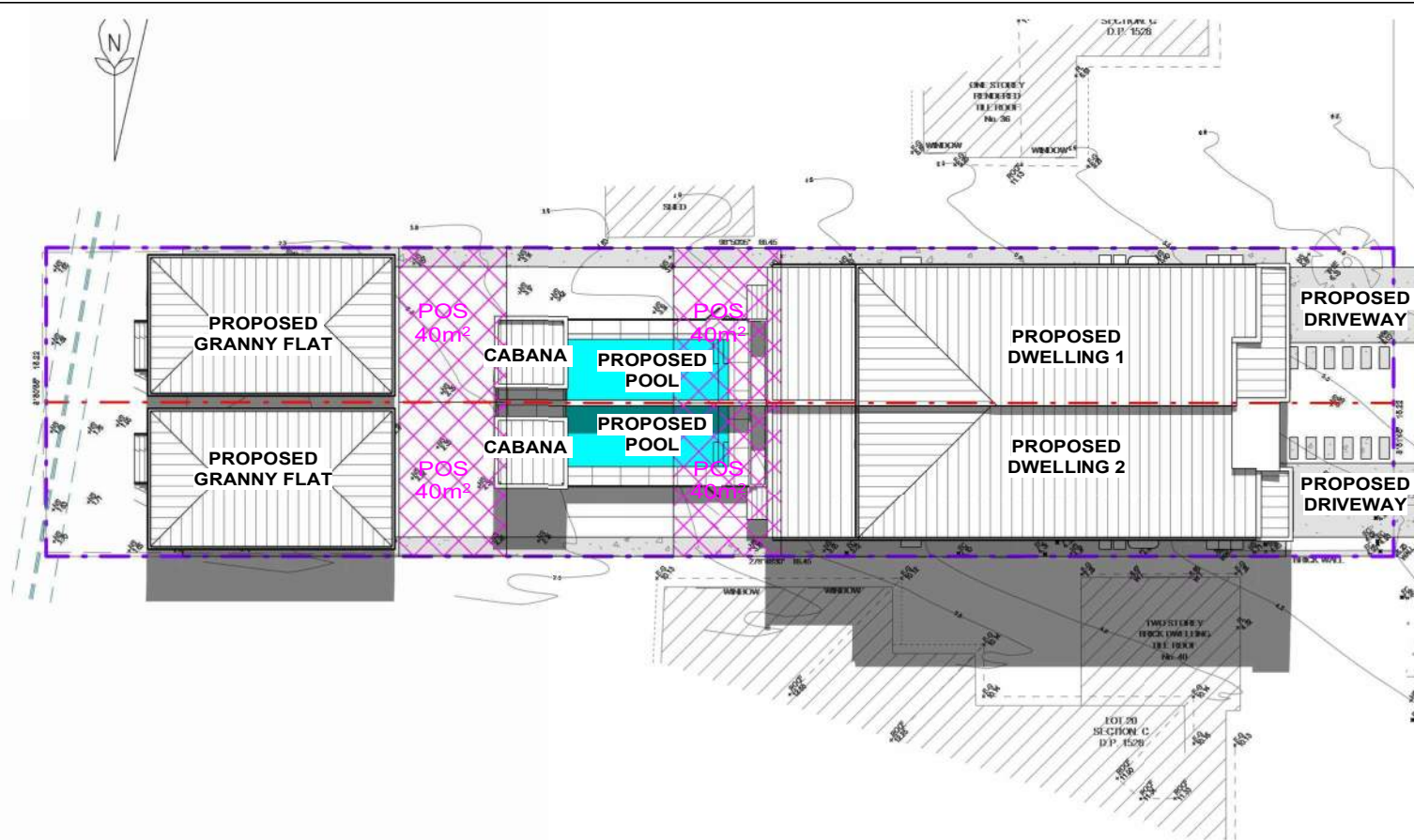
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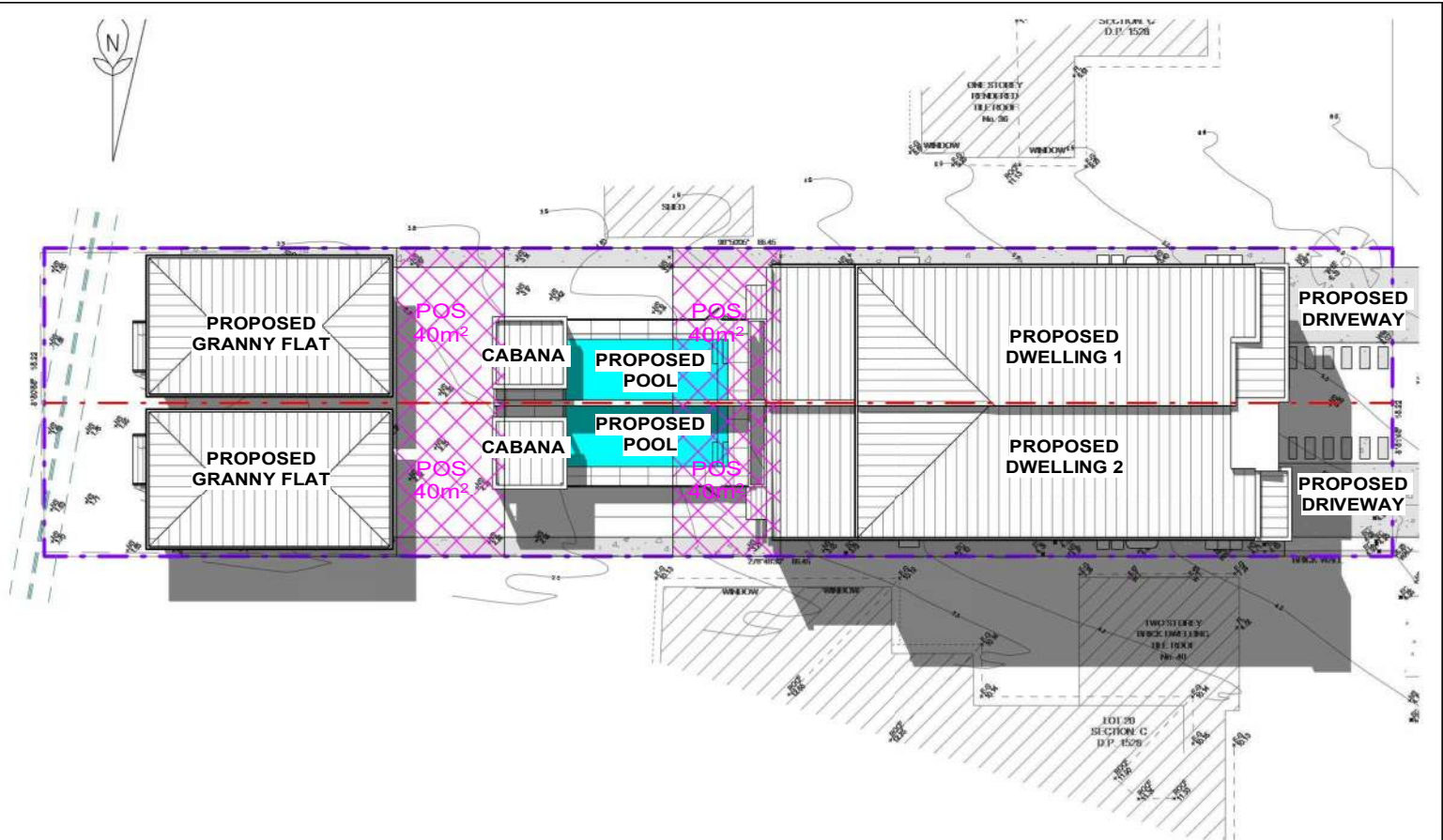
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WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C  
  
**3 HOURS OF SUNLIGHT TO LIVING - 21ST  
JUN**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A16.02</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

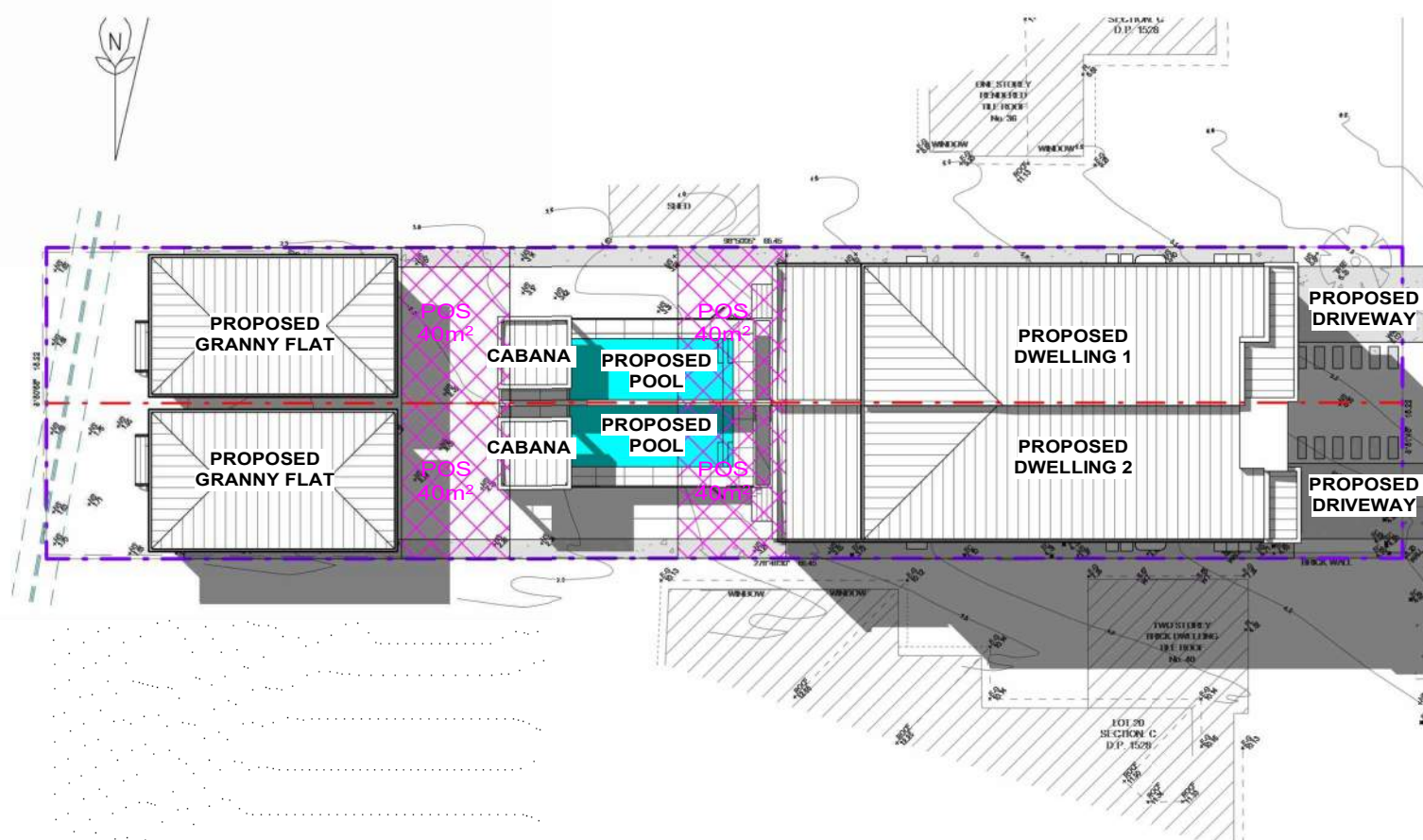




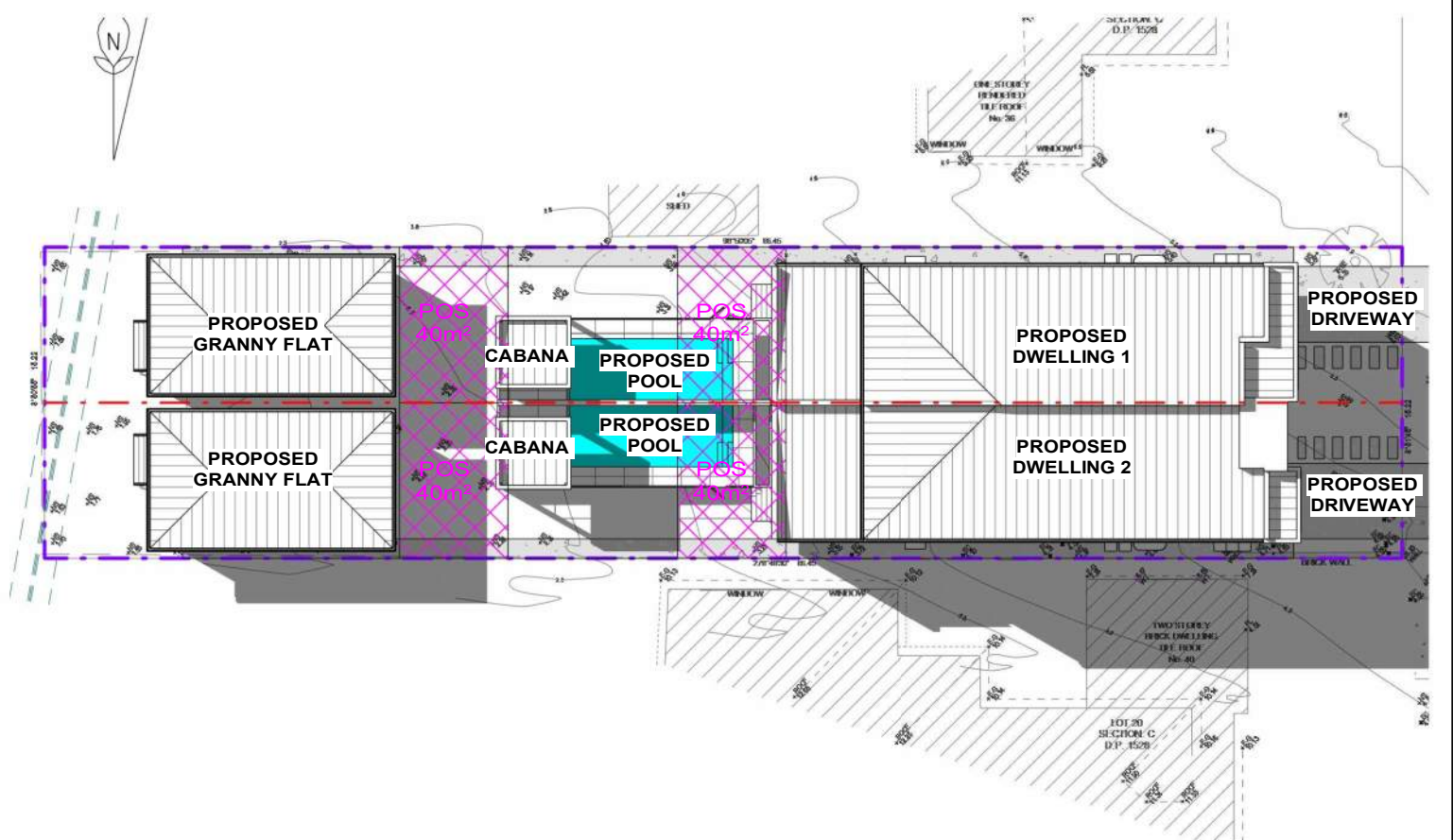
1 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 12PM  
1 : 350



2 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 1PM  
1 : 350



3 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 2PM  
1 : 350



4 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 3PM  
1 : 350

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E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY  
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38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C  
**3 HOURS OF SUNLIGHT TO 50% POS -  
20TH MARCH EQUINOX**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A16.03</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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Single Dwelling

Certificate number: 13511715

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 27 October 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	38 Virginius St, Padstow - DW1		
Street address	38 Virginius Street Padstow 2211		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	deposited 1528		
Lot no.	19		
Section no.	C		
Project type	attached dwelling house		
No. of bedrooms	5		
Project score			
Water	✔ 41	Target	40
Thermal Comfort	✔ Pass	Target	Pass
Energy	✔ 50	Target	50

Certificate Prepared by	
Name / Company Name:	Nemco Design
ABN (if applicable):	4616610505

## Description of project

Project address		Assessor details and thermal loads	
Project name	38 Virginius St, Padstow - DW1	Assessor number	n/a
Street address	38 Virginius Street Padstow 2211	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	deposited Plan 1528	Area adjusted cooling load (MJ/m² year)	n/a
Lot no	19	Area adjusted heating load (MJ/m² year)	n/a
Section no.	C	Ceiling fan in at least one bedroom	n/a
Project type	attached dwelling house	Ceiling fan in at least one living room or other conditioned area	n/a
Project type		Project score	
Project type	attached dwelling house	Water	41 Target 40
No. of bedrooms	5	Thermal Comfort	Pass Target Pass
Site details		Energy	50 Target 50
Site area (m²)	506		
Roof area (m²)	191		
Conditioned floor area (m²)	182.4		
Unconditioned floor area (m²)	13.9		
Total area of garden and lawn (m²)	100		

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 600 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 190.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)		✓	✓
<b>Swimming pool</b>			
The swimming pool must not have a volume greater than 18 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 29 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>	<b>Additional insulation required (R-Value)</b>	<b>Other specifications</b>	
floor - concrete slab on ground, 99.9 square metres	nil		
floor - above habitable rooms or mezzanine, 96 square metres, concrete	nil		
floor - suspended floor above garage, concrete	nil		
external wall - cavity brick	0.50 (or 1.17 including construction)		
external wall - brick veneer	1.86 (or 2.40 including construction)		
internal wall shared with garage - single skin masonry	nil		
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil/sarking	framed: medium (solar absorptance 0.475-0.70)	
<b>Note</b>	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
<b>Note</b>	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.				✓	✓	✓
- Aluminium single clear						✓
- Aluminium double (air) clear						✓
- Timber/PVC/fibreglass single clear						✓
- Timber/PVC/fibreglass double (air) clear						✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.				✓	✓	✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 19%)	Overshadowing	
<b>North facing</b>						
W1.2	600	1810	aluminium, single, clear	none	not overshadowed	
W1.3	970	1810	aluminium, single, clear	none	not overshadowed	
W1.4	600	1200	aluminium, single, clear	none	not overshadowed	
W1.5	600	3000	aluminium, single, clear	none	not overshadowed	
W1.7	970	1810	aluminium, single, clear	none	not overshadowed	
W1.8	970	1810	aluminium, single, clear	none	not overshadowed	
W1.9	600	1210	aluminium, single, clear	none	not overshadowed	
W1.10	600	2650	aluminium, single, clear	none	not overshadowed	
<b>East facing</b>						

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 19%)	Overshadowing
W1.1	2700	1400	aluminium, single, clear	eave 2100 mm, 3600 mm above head of window or glazed door	not overshadowed
W1.6	3100	1400	aluminium, single, clear	eave 2100 mm, 500 mm above head of window or glazed door	not overshadowed
SD1.2	2400	2410	aluminium, single, clear	eave 1400 mm, 0 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
SD1.1	2400	4800	aluminium, single, clear	eave 4500 mm, 1250 mm above head of window or glazed door	>4 m high, <2 m away
SD1.3	2400	3400	aluminium, single, clear	eave 1800 mm, 150 mm above head of window or glazed door	>4 m high, <2 m away

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study; dedicated		✓	✓
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Swimming pool</b>			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
<b>Other</b>			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

A	07.11.2022	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

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STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

ADDRESS:  
SUITE 4, LEVEL 1,  
402-410 CHAPEL RD, BANKSTOWN,  
NSW 2200  
P: 9709 9556 M: 9422 606 228  
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

**BASIX CERTIFICATE - DW1**




JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A17.01</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 27 October 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	38 Virginius St, Padstow - DW2	
Street address	38 Virginius Street Padstow 2211	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	C	
Project type	attached dwelling house	
No. of bedrooms	5	
Project score		
Water	 41	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 50	Target 50

Certificate Prepared by	
Name / Company Name: Nemco Design	
ABN (if applicable): 46166100505	

## Description of project

Project address	
Project name	38 Virginius St, Padstow - DW1
Street address	38 Virginius Street Padstow 2211
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 1528
Lot no.	19
Section no.	C
Project type	
Project type	attached dwelling house
No. of bedrooms	5
Site details	
Site area (m <sup>2</sup> )	506
Roof area (m <sup>2</sup> )	191
Conditioned floor area (m <sup>2</sup> )	182.4
Unconditioned floor area (m <sup>2</sup> )	13.9
Total area of garden and lawn (m <sup>2</sup> )	100

Assessor details and thermal loads	
Assessor number	n/a
Certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m <sup>2</sup> /year)	n/a
Area adjusted heating load (MJ/m <sup>2</sup> /year)	n/a
Ceiling fan in at least one bedroom	n/a
Ceiling fan in at least one living room or other conditioned area	n/a
Project score	
Water	✓ 41 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 50 Target 50

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 600 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"><li>all toilets in the development</li></ul>		✓	✓
<ul style="list-style-type: none"><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 18 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground, 99.9 square metres	nil			
floor - above habitable rooms or mezzanine, 96 square metres, concrete	nil			
floor - suspended floor above garage, concrete	nil			
external wall - cavity brick	0.50 (or 1.17 including construction)			
external wall - brick veneer	1.86 (or 2.40 including construction)			
internal wall shared with garage - single skin masonry	nil			
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil/sarking	framed, medium (solar absorptance 0.475-0.70)		
Note:	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note:	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
<ul style="list-style-type: none"><li>For the following glass and frame types, the certifier check can be performed by visual inspection.</li></ul>			✓
<ul style="list-style-type: none"><li>Aluminium single clear</li><li>Aluminium double (air) clear</li><li>Timber/UPVC/fibreglass single clear</li><li>Timber/UPVC/fibreglass double (air) clear</li></ul>			
<ul style="list-style-type: none"><li>Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.</li></ul>	✓	✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W1.2	600	1810	aluminium, single, clear	none	not overshadowed
W1.3	970	1810	aluminium, single, clear	none	not overshadowed
W1.4	600	1200	aluminium, single, clear	none	not overshadowed
W1.5	600	3000	aluminium, single, clear	none	not overshadowed
W1.7	970	1810	aluminium, single, clear	none	not overshadowed
W1.8	970	1810	aluminium, single, clear	none	not overshadowed
W1.9	600	1210	aluminium, single, clear	none	not overshadowed
W1.10	600	2650	aluminium, single, clear	none	not overshadowed
East facing					

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W2.5	600	3000	aluminium, single, clear	none	not overshadowed
W2.7	970	1810	aluminium, single, clear	none	not overshadowed
W2.8	970	1810	aluminium, single, clear	none	not overshadowed
W2.9	600	1210	aluminium, single, clear	none	not overshadowed
W2.10	600	2650	aluminium, single, clear	none	not overshadowed
West facing					
SD2.1	2400	4800	aluminium, single, clear	save 4500 mm, 1200 mm above head of window or glazed door	>4 m high, 2-5 m away
SD2.3	2400	3400	aluminium, single, clear	save 1800 mm, 200 mm above head of window or glazed door	>4 m high, 2-5 m away

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning, Energy rating: 4.5 Star (old label)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: <ul style="list-style-type: none"><li>At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off</li></ul>		✓	✓
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"><li>at least 5 of the bedrooms / study; dedicated</li><li>at least 1 of the living / dining rooms; dedicated</li><li>the kitchen; dedicated</li></ul>		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"><li>all bathrooms/toilets; dedicated</li><li>the laundry; dedicated</li><li>all hallways; dedicated</li></ul>		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

A	07.11.2022	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

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**STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN**

ADDRESS:  
SUITE 4, LEVEL 1,  
402-410 CHAPEL RD, BANKSTOWN,  
NSW 2200  
P: 9709 9556 M: 9422 686 228  
E: [abraham@nemcodesign.com.au](mailto:abraham@nemcodesign.com.au)

**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
**38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C**

**BASIX CERTIFICATE - DW2**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A17.02</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	



## Single Dwelling

Certificate number: 13477405

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 17 October 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.

Planning,  
Industry &  
Environment

Project summary		
Project name	LOT 1-GRANNY FLAT- 36 Virginus Street, Padstow	
Street address	36 Virginus Street Street Padstow 2211	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	C	
Project type	separate dwelling house - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 54	Target 50

## Certificate Prepared by

Name / Company Name: Nemco Design

ABN (if applicable): 46166190505

## Description of project

Project address	
Project name	LOT 1-GRANNY FLAT- 36 Virginus Street, Padstow
Street address	38 Virginus Street Street Padstow 2211
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 1528
Lot no.	19
Section no.	C
Project type	
Project type	separate dwelling house - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m²)	506
Roof area (m²)	70
Conditioned floor area (m2)	46.84
Unconditioned floor area (m2)	4.85
Total area of garden and lawn (m2)	100
Roof area (m2) of the existing dwelling	140
No. of bedrooms in the existing dwelling	2

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m²·year)	n/a	
Area adjusted heating load (MJ/m²·year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 54	Target 50

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 70 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground	nil			
external wall - cavity brick	0.50 (or 1.17 including construction)			
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	gable end vents; medium (solar absorptance 0.475-0.70)		
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓
• Aluminium single clear			
• Aluminium double (air) clear			
• Timber/UPVC/fibreglass single clear			
• Timber/UPVC/fibreglass double (air) clear			

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
W1.10	600	1210	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W1.11	600	1600	aluminium, single, clear	eave 450 mm, 1100 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
W1.12	970	1810	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W1.13	970	1810	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
SD1.4	2400	2410	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 36 to 40 STCo or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER > 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER > 4.0		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER > 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER > 4.0		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual on / timer off		✓	✓
Kitchen: individual fan, not ducted; Operation control: manual on / timer off		✓	✓
Laundry: individual fan, not ducted; Operation control: manual on / timer off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 2 of the bedrooms / study; dedicated • at least 1 of the living / dining rooms; dedicated • the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

A	07.11.2022	ISSUED FOR DA		DK
REV	DATE	DESCRIPTION		BY

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STRUCTURAL ENGINEERING  
& ARCHITECTURAL DESIGN

ADDRESS:  
SUITE 4, LEVEL 1,  
402-410 CHAPEL RD, BANKSTOWN,  
NSW 2200  
P: 9709 5556 M: 9422 606 228  
E: [abraham@nemcodesign.com.au](mailto:abraham@nemcodesign.com.au)

**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

**BASIX REQUIREMENTS - DW1 GRANNY  
FLAT**

JOB NUMBER:  
**22713**DESIGNED BY:  
A.N.DRAWN BY:  
A.N.DWG NUMBER:  
**A17.03**DATE:  
**07.11.2022**SCALE:  
AS SHOWNORIGINAL SIZE:  
A3



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 17 October 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	LOT 2- GRANNY FLAT-38 Virginius Street, padstow	
Street address	38 Virginius Street Street Padstow 2211	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 1528	
Lot no.	19	
Section no.	C	
Project type	separate dwelling house - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 57	Target 50

Certificate Prepared by	
Name / Company Name:	Nemco Design
ABN (if applicable):	46166160505

## Description of project

Project address		Assessor details and thermal loads	
Project name	LOT 2- GRANNY FLAT-38 Virginius Street, padstow	Assessor number	n/a
Street address	38 Virginius Street Street Padstow 2211	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 1528	Area adjusted cooling load (MJ/m² year)	n/a
Lot no.	19	Area adjusted heating load (MJ/m² year)	n/a
Section no.	C	Ceiling fan in at least one bedroom	n/a
Project type	separate dwelling house - secondary dwelling	Ceiling fan in at least one living room or other conditioned area	n/a
Project type		Project score	
Project type	separate dwelling house - secondary dwelling	Water	40 Target 40
No. of bedrooms	2	Thermal Comfort	Pass Target Pass
Energy		Energy	57 Target 50
Site details			
Site area (m²)	506		
Roof area (m²)	70		
Conditioned floor area (m²)	46.84		
Unconditioned floor area (m²)	4.85		
Total area of garden and lawn (m²)	100		
Roof area (m²) of the existing dwelling	130		
No. of bedrooms in the existing dwelling	5		

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 70 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
<b>Floor, walls and ceiling/roof</b>				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
<b>Construction</b>	<b>Additional insulation required (R-Value)</b>	<b>Other specifications</b>		
floor - concrete slab on ground	nil			
external wall - cavity brick	0.50 (or 1.17 including construction)			
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: full/sarking	gable end vents; medium (solar absorptance 0.475-0.70)		
<b>Note</b>	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
<b>Note</b>	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓
• Aluminium single clear			
• Aluminium double (air) clear			
• Timber/UPVC/fibreglass single clear			
• Timber/UPVC/fibreglass double (air) clear			

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 15%)	Overshadowing
<b>North facing</b>					
W2.12	970	1810	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W2.13	970	1810	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
W2.11	600	1600	aluminium, single, clear	eave 450 mm, 1100 mm above head of window or glazed door	not overshadowed
W2.10	600	1210	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
SD2.4	2400	2410	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 36 to 40 STCs or better.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted; Operation control: manual on / timer off		✓	✓
Kitchen: individual fan, not ducted; Operation control: manual on / timer off		✓	✓
Laundry: individual fan, not ducted; Operation control: manual on / timer off		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 2 of the bedrooms / study; dedicated		✓	✓
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
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Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

A	07.11.2022	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

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**NEMCO DESIGN**  
PTY LTD  
STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

ADDRESS:  
SUITE 4, LEVEL 1,  
402-410 CHAPEL RD, BANKSTOWN,  
NSW 2200  
P: 9709 9556 M: 9422 606 228  
E: [abraham@nemcodesign.com.au](mailto:abraham@nemcodesign.com.au)

**PROPOSED ATTACHED DUAL OCCUPANCY  
WITH GRANNY FLATS & POOLS**  
38 VIRGINIUS ST, PADSTOW  
LOT 19, DP 1528, SECTION C

**BASIX REQUIREMENTS - DW2 GRANNY  
FLAT**

JOB NUMBER: <b>22713</b>	DWG NUMBER: <b>A17.04</b>	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: <b>07.11.2022</b>	
DRAWN BY: A.N.	SCALE: AS SHOWN	

